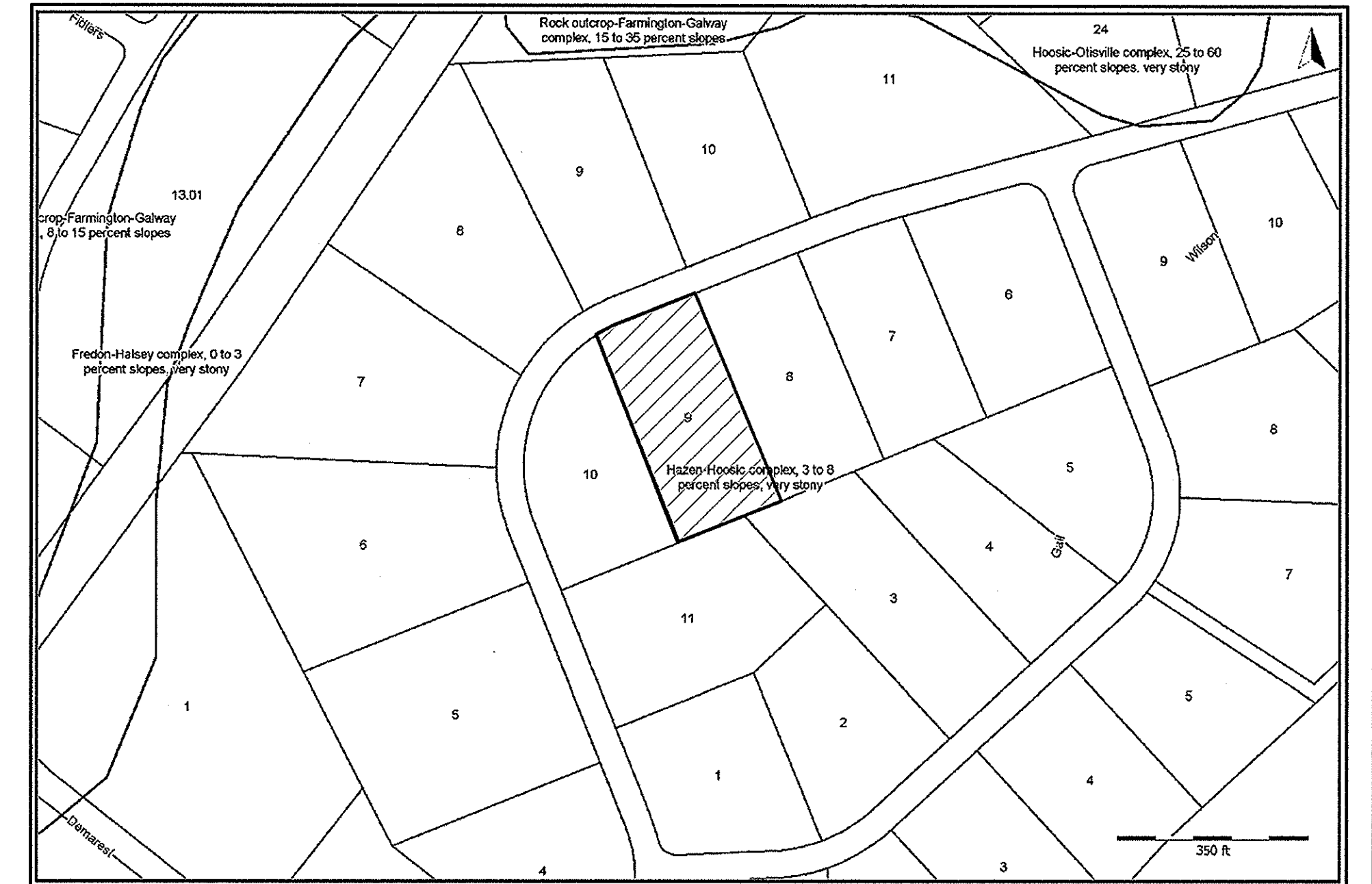


FLOOD PANEL  
34070008E,  
ZONE X  
Effective Date September 29, 2011

# SITE PLAN FOR 26 WILSON DRIVE, LLC. LOT 2 IN BLOCK 12007 SPARTA TOWNSHIP SUSSEX COUNTY, NEW JERSEY



SSURGO SOILS  
as per NJDEP Website

**CERTIFIED LIST OF PROPERTY OWNERS WITHIN  
200 FEET OF LOT 2 in BLOCK 12007 - 5/13/2019**

BLOCK	LOT	OWNER'S NAME	PROPERTY LOCATION
12006	17	Pioneer Packaging, LLC 31 Wilson Dr. Sparta, NJ 07871	31 Wilson Drive
12006	18	Goveckone Condo 27 Wilson Dr. Sparta, NJ 07871	27 Wilson Drive
12006	18	R Poust Realty, LLC 27A Wilson Dr. Sparta, NJ 07871	27 Wilson Drive - Unit A
12006	18	Bettinelli Real Estate, LLC 27 Wilson Dr. Unit C Sparta, NJ 07871	27 Wilson Drive - Unit B
12006	18	Bettinelli Real Estate, LLC 27 Wilson Dr. Unit C Sparta, NJ 07871	27 Wilson Drive - Unit C
12006	18	C Mcoold Properties, LLC 27 Wilson Dr. Sparta, NJ 07871	27 Wilson Drive - Unit D
12006	18	C Mcoold Properties, LLC 27 Wilson Dr. Sparta, NJ 07871	27 Wilson Drive - Unit E
12006	18	R Poust Realty, LLC 2049 Oleivel Circle The Villages, FL 32162	27 Wilson Drive - Unit F
12006	19	Land Holdings of Sparta, LLC 23 Wilson Dr. Sparta, NJ 07871	23 Wilson Drive
12006	20	19 Wilson Drive, LLC 99 Demarest Rd. STE 3 Sparta, NJ 07871	19 Wilson Drive
12006	20	19 Wilson Drive, LLC 99 Demarest Rd. STE 3 Sparta, NJ 07871	19 Wilson Drive, Unit 1
12006	20	19 Wilson Drive, LLC 99 Demarest Rd. STE 3 Sparta, NJ 07871	19 Wilson Drive, Unit 2
12006	20	19 Wilson Drive, LLC 99 Demarest Rd. STE 3 Sparta, NJ 07871	19 Wilson Drive, Unit 3
12006	20	19 Wilson Drive, LLC 99 Demarest Rd. STE 3 Sparta, NJ 07871	19 Wilson Drive, Unit 4
12007	1	Post Packaging, Inc. 20 Wilson Dr. Sparta, NJ 07871	20 Wilson Drive
12007	3	Lozma, Inc. 304 Wilson Dr. Sparta, NJ 07871	30 Wilson Drive
12007	4	VN Property Group, LLC 34 Wilson Drive Sparta, NJ 07871	34 Wilson Drive
12007	7	Sta-Des Realty, LLC 9 Brookfield Dr. Sparta, NJ 07871	17 Gall Ct
12007	8	Wildcat Assoc, LLC 5 Gall Ct Sparta, NJ 07871	5 Gall Ct
12007	10	12 Wilson Drive, LLC 200 Rt 130 No Cinnaminson, NJ 08077	12 Wilson Drive

**PUBLIC UTILITIES**

New Jersey Department of Transportation  
Regional Engineer  
200 Sierli Court  
Mount Arlington, NJ 07856

Sussex County Planning Board  
Administration Center  
1 Spring Street  
Newton, NJ 07860

Lake Mohawk Country Club  
21 The Boardwalk  
Sparta, NJ 07871

State of New Jersey  
Highlands Water Protection & Planning Council  
100 North Road (Route 913)  
Chester, NJ 07930-2322

JCPAL  
City Engineering Dept  
300 Madison Ave  
PO Box 1911  
Morristown, NJ 07962-1911

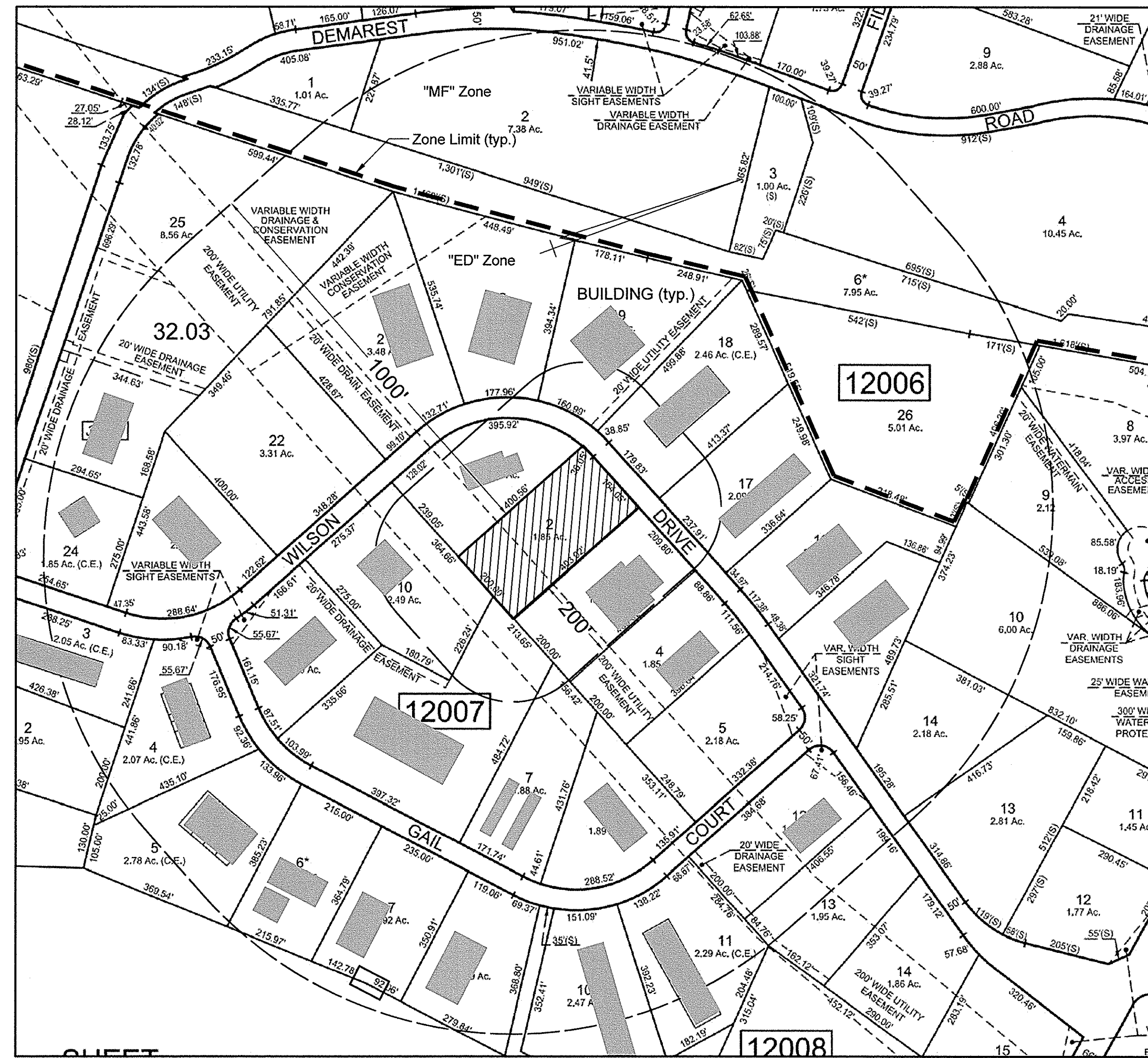
PSEG Company  
Manager - Corporate Properties  
80 Park Plaza, T65  
Newark, NJ 07102

SECTV of NJ, Inc.  
320 Sparta Avenue  
Sparta, NJ 07871

Township of Sparta  
Piaza Waste Water Treatment Facility  
65 Main Street  
Sparta, NJ 07871

Centurylink  
PO Box 7909  
Overland, KS 66207-0909

Elizabeth Gas  
520 Green Ln  
Union, NJ 07083



KEY MAP as per Tax Map Sheet 12.02



SCALE: 1" = 200'

**OWNER \ APPLICANT**  
26 WILSON DRIVE LLC.  
1152 Route 10  
Randolph, NJ 07869  
Phone: 973-584-7277  
Fax: 973-584-0957

**CERTIFICATION OF ACCURACY:**  
I hereby certify that this plan is accurate and is based on an actual field survey which was prepared by N.J.S.

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INDEX OF SHEETS	Last Revised
1 COVER SHEET	10-21-19
2 MAP OF EXISTING CONDITIONS	10-21-19
3 SITE PLAN	10-21-19
4 GRADING AND DRAINAGE	10-21-19
5 LANDSCAPE PLAN	10-21-19
6 LIGHTING PLAN	10-21-19
7 SOIL EROSION AND SEDIMENT CONTROL PLAN	10-21-19

**LAND USE BOARD APPROVAL:**  
THIS SITE PLAN HAS BEEN APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF SPARTA AT A REGULAR MEETING OF SAID BOARD HELD ON \_\_\_\_\_

**ENGINEER'S APPROVAL:**  
THIS SITE PLAN HAS BEEN APPROVED BY THE SPARTA TOWNSHIP PLANNING BOARD ENGINEER.

CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

DATE	REVISION
10-21-19	Engineers Report 10-9-19 Board meeting 10-16-19

**COVER SHEET  
SITE PLAN**

**LOT 2 in BLOCK 12007**  
*Formerly Lot 9 in Block 32.02*  
**26 WILSON DRIVE, LLC.**

SPARTA TOWNSHIP - SUSSEX COUNTY - NEW JERSEY  
SCALE : 1" = 200' JULY 2019

**ROBERT L. CAMPBELL ASSOCIATES  
ENGINEERS AND SURVEYORS**  
Certificate of Authorization No. 24GA28059500  
9 Cook Road, Branchville, New Jersey 07826  
Phone: 973-948-8037 FAX: 973-948-8039

**ALLEN J. CAMPBELL, Professional Engineer**

N.J.P.E. License No. 34332, N.J.P.P. 04497

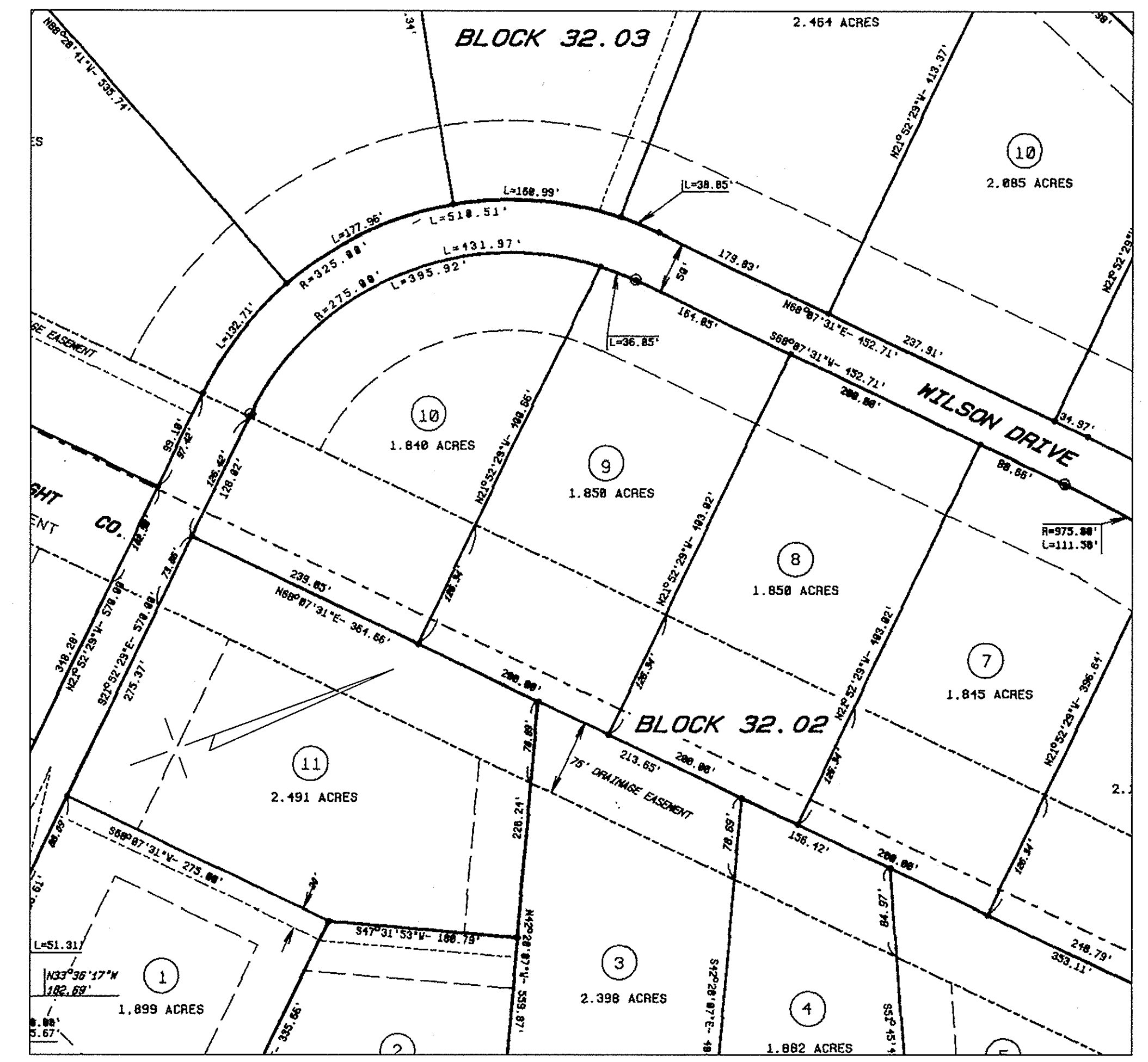
**NOTES:**

1. Survey by Robert L. Campbell Associates
2. Topography by Robert L. Campbell Associates  
 x 597.2 Elevation  
 - - - - - Existing Contour  
 x 597.2 PROPOSED ELEVATION  
 [ 598 ] PROPOSED CONTOUR
3. Septic Permit No. 29586
4. Planning Board Application No. 672

**TEST PIT DATA**

- T.P. 1:**
- 0 - 4" Top soil
  - 4" - 48" Loamy Sand & Gravel 10YR 5/6  
20% gravel, 2% cobble, granular  
Moist and loose  
No Mottling
  - 48" - 84" Loamy Medium/Fine Sand 10YR 4/4  
5% gravel, granular  
Moist and friable  
Mottling 64"-84" 10YR 6/4 10YR 7/4  
Few, fine, faint
  - Total Depth: 84" collapse
  - Depth to Ledges: -
  - Depth to Water: -
  - Seepage at: 78"
  - Est. SHWT: 64"
  - Roots at: 18"
  - Soil Sample Taken: -
- T.P. 2:**
- 0 - 4" Top soil
  - 4" - 32" Loamy Sand & Gravel 10YR 5/6  
20% gravel, 2% cobble, granular  
Moist and loose  
No Mottling
  - 32" - 96" Loamy Medium/Fine Sand 10YR 4/4  
5% gravel, granular  
Moist and friable  
Mottling 66"-96" 10YR 6/4 10YR 7/4  
Few, fine, faint
  - Total Depth: 96" collapse
  - Depth to Ledges: -
  - Depth to Water: -
  - Seepage at: -
  - Est. SHWT: 66"
  - Roots at: 18"
  - Soil Sample Taken: 52"
- T.P. 3:**
- 0 - 6" Top soil
  - 6" - 46" Loamy Sand & Gravel 10YR 5/6  
20% gravel, 2% cobble, granular  
Moist and loose  
No Mottling
  - 46" - 90" Loamy Medium/Fine Sand 10YR 4/4  
5% gravel, granular  
Moist and friable  
Mottling 64"-90" 10YR 6/4 10YR 7/4  
Few, fine, faint
  - Total Depth: 90" collapse
  - Depth to Ledges: -
  - Depth to Water: 88"
  - Seepage at: 80"
  - Est. SHWT: 64"
  - Roots at: 66"
  - Soil Sample Taken: 66"

- S.T. 1:**
- 0 - 12" Top soil
  - 12" - 96" Loamy Sand & Gravel 7.5YR 6/6  
20% gravel, 2% cobble, granular  
Moist and loose  
No Mottling
  - 96" - 110" Loamy Medium/Fine Sand 10YR 4/4  
5% gravel, granular  
Moist and loose  
Mottling 96"-110" 10YR 6/4 10YR 7/4  
Common, medium, distinct
  - Total Depth: 110"
  - Depth to Ledges: -
  - Depth to Water: 108"
  - Seepage at: 84"
  - Est. SHWT: -
  - Roots at: 54"
  - Soil Sample Taken: 70"
- S.T. 2:**
- 0 - 8" Top soil
  - 8" - 48" Loamy Sand & Gravel 7.5YR 6/6  
20% gravel, 2% cobble, granular  
Moist and loose  
No Mottling
  - 48" - 106" Loamy Medium/Fine Sand 10YR 4/4  
5% gravel, granular  
Moist and loose  
Mottling 100"-106" 10YR 6/4 10YR 7/4  
Common, medium, distinct
  - Total Depth: 106"
  - Depth to Ledges: -
  - Depth to Water: -
  - Seepage at: -
  - Est. SHWT: -
  - Roots at: 40"
  - Soil Sample Taken: -



FILED MAP No. 946  
Scale 1" = 100'

SCALE: 1" = 100'

**MAP REFERENCE:**  
Property is known as Lot 9 in Block 32.02 as shown on map entitled "Commerce Park at Sparta, Sparta Township, Sussex County, N.J., Final Plat", Scale 1" = 100', prepared by Sparta Engineering & Land Co. Inc. 191 Woodport Road, Sparta, N.J. and filed in the Sussex County Clerk's Office on August 17, 1986 as Registered Map No. 946

Commerce Park at Sparta, Sparta Township, Sussex County, N.J. "AS BUILTS PLAN" prepared by Sparta Engineering & Land Co. Inc., 191 Woodport Road, Sparta, N.J., Scale 1" = 50', Sheets 1 through 8, Dated June 29, 1986.

**CERTIFICATION OF ACCURACY:**  
I hereby certify that this plat is accurate and is based on an actual field survey which was prepared by N.J.L.S.

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**MAP OF EXISTING CONDITIONS**

**LOT 2 in BLOCK 12007**  
Formerly Lot 9 in Block 32.02  
**26 WILSON DRIVE, LLC.**

SPARTA TOWNSHIP - SUSSEX COUNTY - NEW JERSEY  
SCALE: AS SHOWN JULY 2019

**ROBERT L. CAMPBELL ASSOCIATES**  
ENGINEERS AND SURVEYORS  
Certificate of Authorization No. 24GA28059500  
9 Cook Road, Branchville, New Jersey 07826  
Phone: 973-948-8037 FAX: 973-948-8039

**ALLEN J. CAMPBELL, Professional Engineer**

N.J.P.E. License No. 34332, N.J.P.P. 04497

10-21-19	Engineers Report 10-9-19 Board meeting 10-16-19
DATE	REVISION

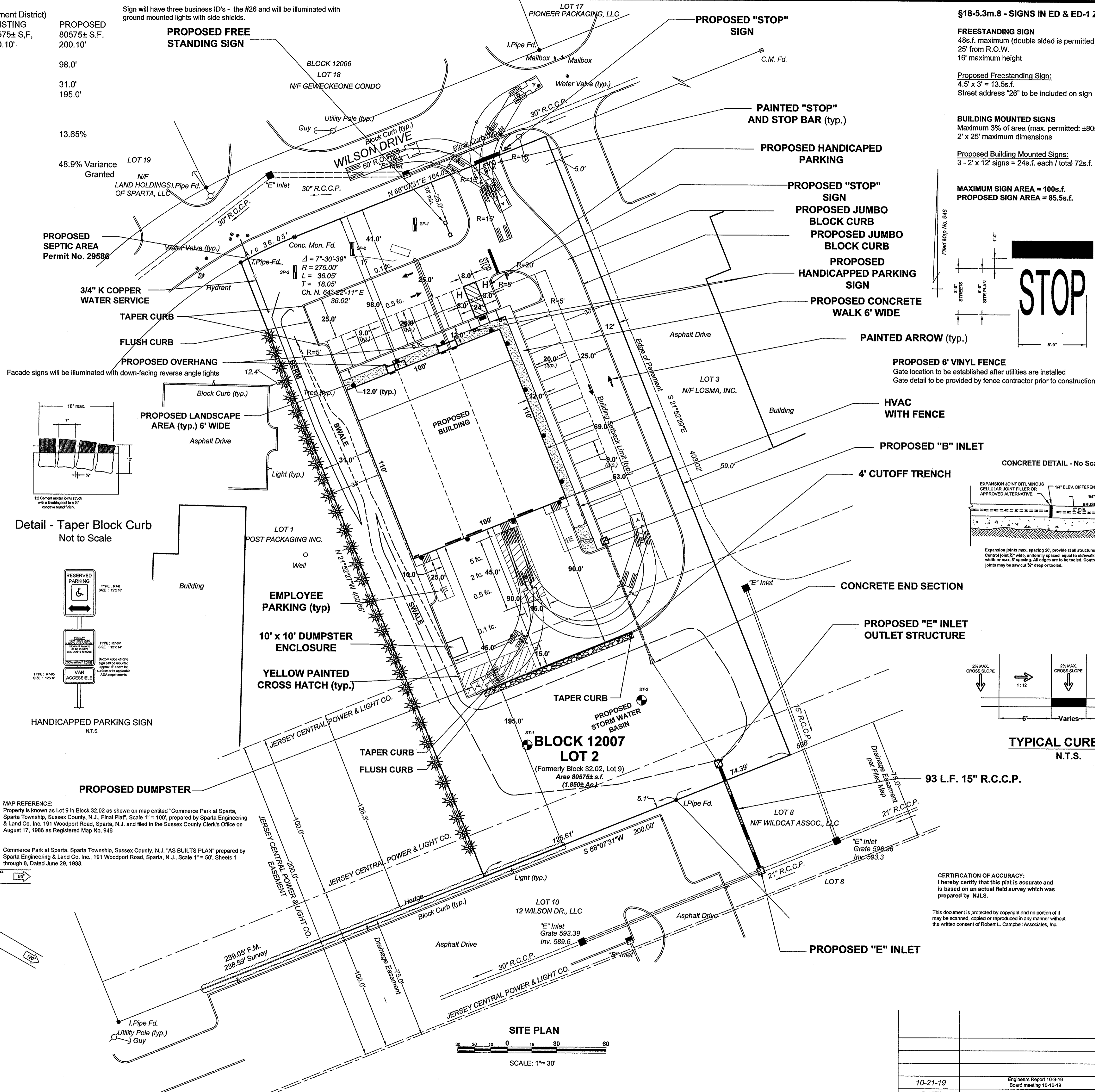
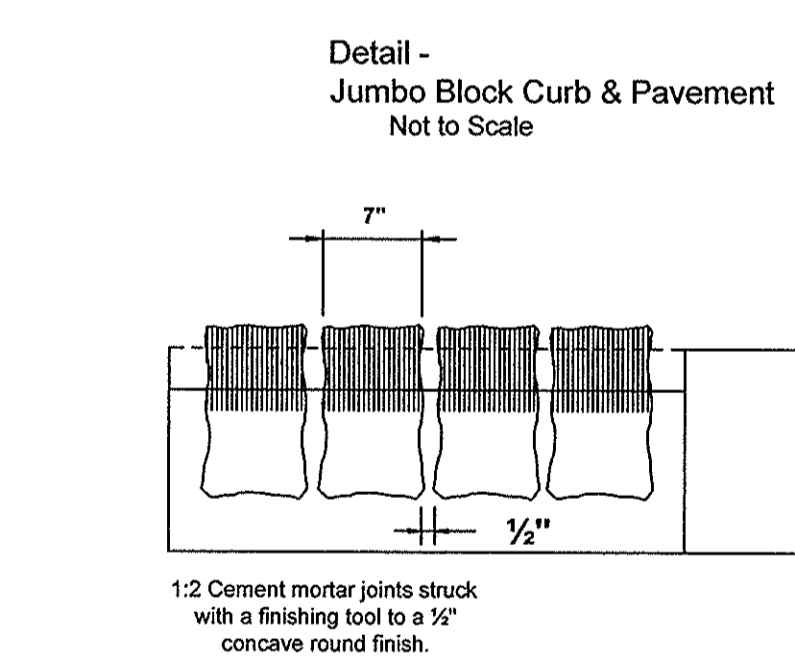
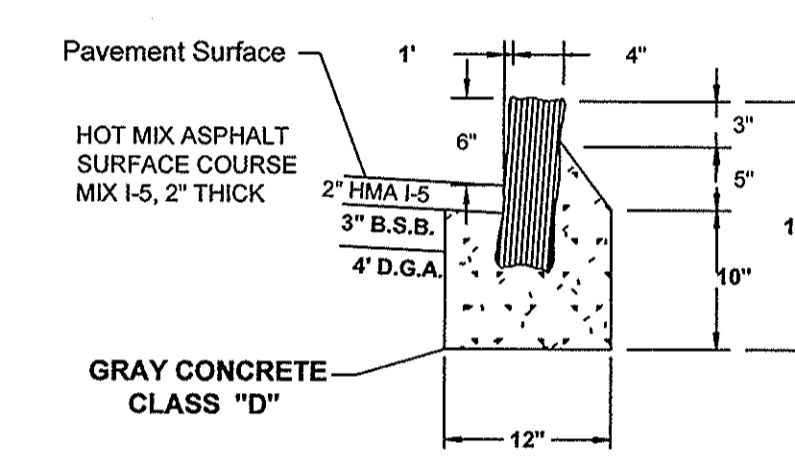
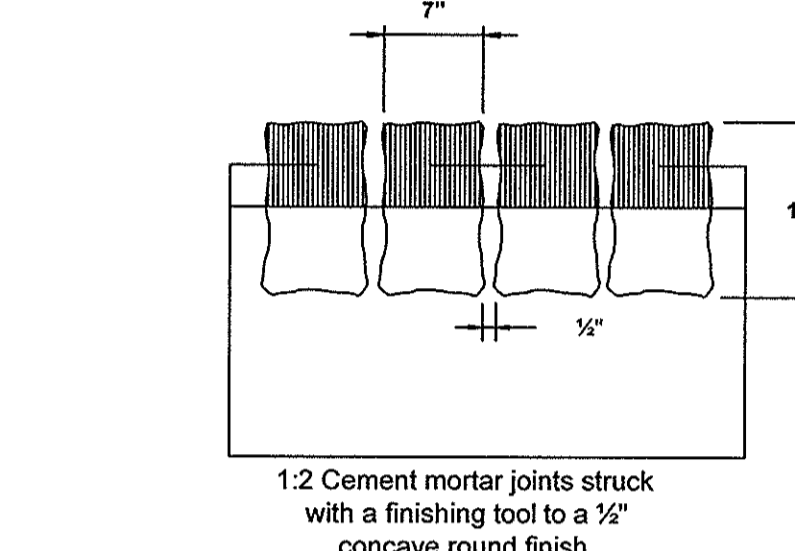
ZONING REQUIREMENTS: "ED" ZONE (Economic Development District)

REQUIRED	EXISTING	PROPOSED
LOT AREA 80,000 S.F.	80575± S.F.	80575± S.F.
LOT WIDTH @ Setback Line 200' min.	200.10'	200.10'
BUILDING SETBACKS		
Front	100' Zoning Ordinance 75' Filed Map	98.0'
Side	30'	31.0'
Rear	50'	195.0'
BUILDING HEIGHT	2 1/2 Stories / 35' max	
LOT AREA RATIO		48.9% Variance Granted
Principal and Accessory Building	25% max.	13.65%
Storage and Parking	25% max.	
IMPERVIOUS COVER	40% max.	
PARKING SETBACKS	10' from Building	

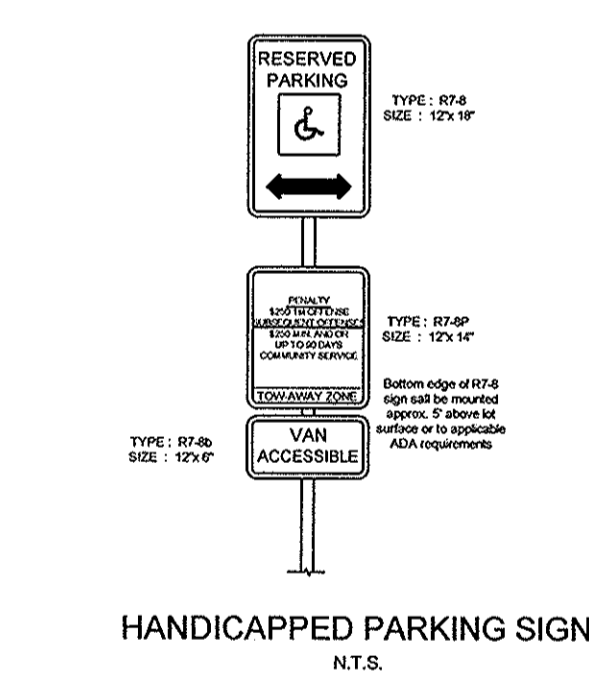
Parking per Section 18-5.3h  
 Gross Building Area 20 x 100 = 2000 s.f. Office  
 90 x 100 = 9000 s.f. Warehouse  
 11000s.f. Total

2000 s.f. Office 1 per 200 s.f. = 10 Parking Spaces  
 9000 s.f. Warehouse 1 per 500 s.f. = 18 Parking Spaces  
 11000 s.f. = 28 Parking Spaces

1:2 Cement mortar joints struck with a finishing tool to a 1/2" concave round finish.



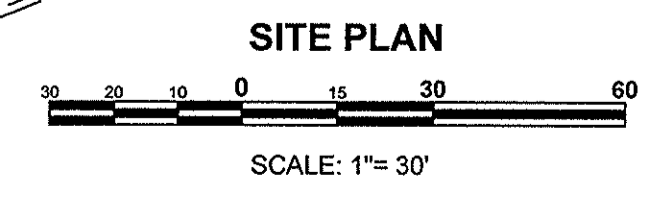
Detail - Taper Block Curb  
Not to Scale



Detail - Jumbo Block Curb & Pavement  
Not to Scale

MAP REFERENCE:  
 Property is known as Lot 9 in Block 32.02 as shown on map entitled "Commerce Park at Sparta, Sparta Township, Sussex County, N.J., Final Plat", Scale 1" = 100', prepared by Sparta Engineering & Land Co. Inc. 191 Woodport Road, Sparta, N.J. and filed in the Sussex County Clerk's Office on August 17, 1986 as Registered Map No. 946

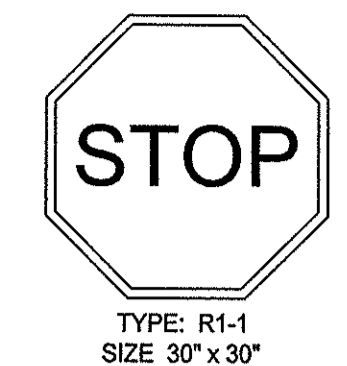
Commerce Park at Sparta, Sparta Township, Sussex County, N.J. "AS BUILTS PLAN" prepared by Sparta Engineering & Land Co. Inc., 191 Woodport Road, Sparta, N.J., Scale 1" = 50', Sheets 1 through 8, Dated June 29, 1988.



\$18-5.3m.8 - SIGNS IN ED & ED-1 ZONES

**FREESTANDING SIGN**  
 48s.f. maximum (double sided is permitted)  
 25' from R.O.W.  
 16' maximum height

Proposed Freestanding Sign:  
 4.5' x 3' = 13.5s.f.  
 Street address "26" to be included on sign



TYPE: R1-1  
 SIZE: 30" x 30"

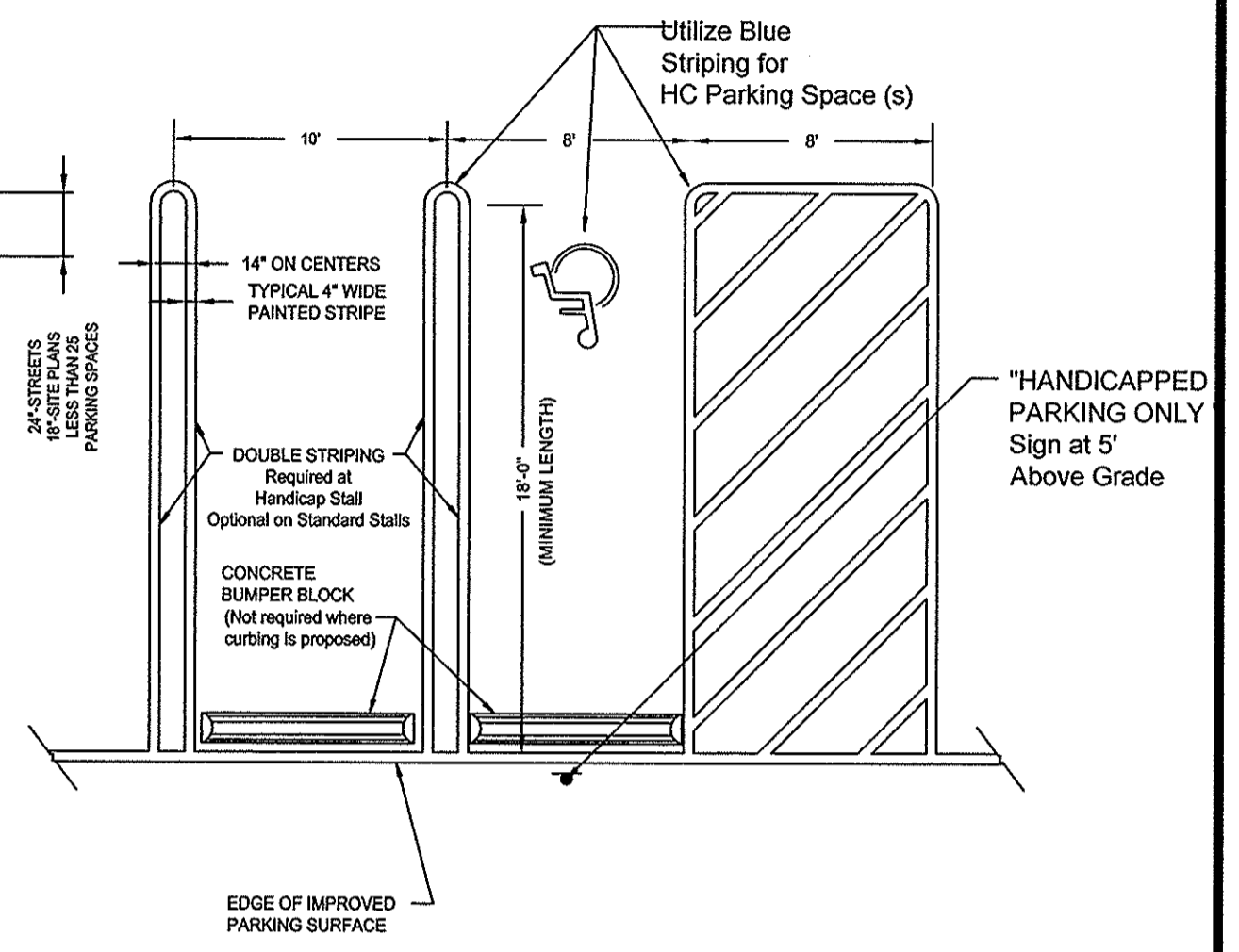
**BUILDING MOUNTED SIGNS**  
 Maximum 3% of area (max. permitted: ±80s.f.)  
 2' x 25' maximum dimensions

Proposed Building Mounted Signs:  
 3 - 2' x 12' signs = 24s.f. each / total 72s.f.

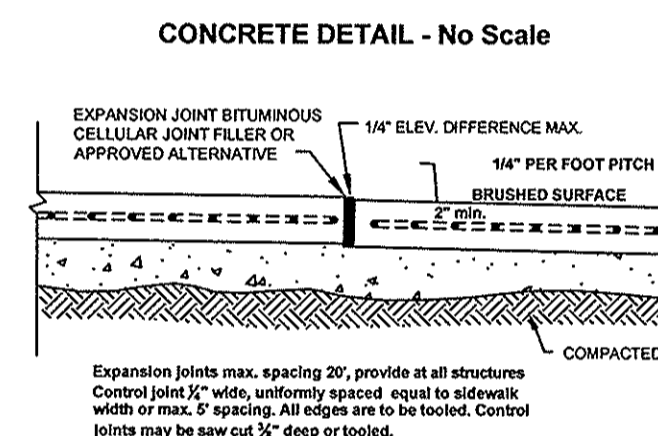
MAXIMUM SIGN AREA = 100s.f.  
 PROPOSED SIGN AREA = 85.5s.f.



PAINTED DIRECTIONAL ARROW  
 N.T.S.



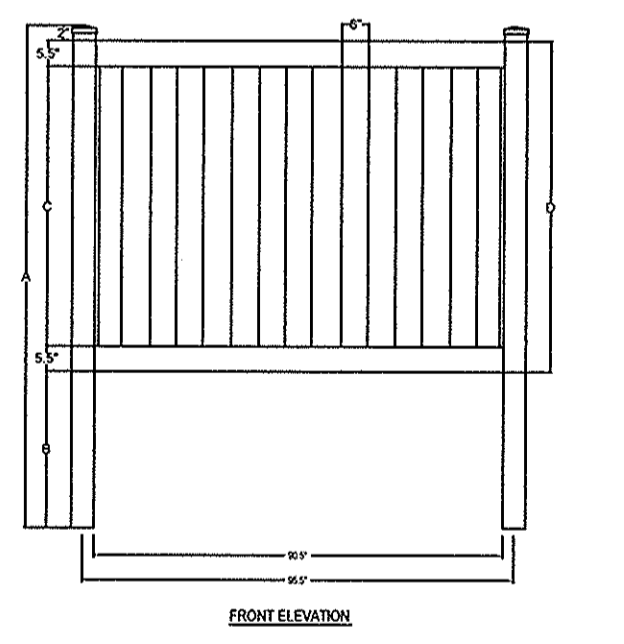
TYPICAL PARKING SPACES  
 N.T.S.



TYPICAL CURB CUT  
 N.T.S.



DETECTABLE WARNING STRIP  
 Not to Scale



WHITE VINYL FENCE & GATE  
 Gates should be installed where site conditions require.  
 Gate detail to be provided by fence contractor

CERTIFICATION OF ACCURACY:  
 I hereby certify that this plat is accurate and is based on an actual field survey which was prepared by N.J.L.S.

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**SITE PLAN**

**LOT 2 in BLOCK 12007**  
 Formerly Lot 9 in Block 32.02  
**26 WILSON DRIVE, LLC.**

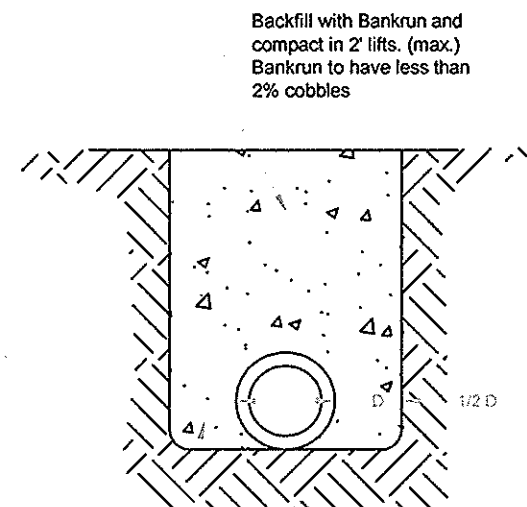
SPARTA TOWNSHIP - SUSSEX COUNTY - NEW JERSEY  
 SCALE : 1" = 30'  
 JULY 2019

**ROBERT L. CAMPBELL ASSOCIATES**  
 ENGINEERS AND SURVEYORS  
 Certificate of Authorization No. 24GA28059500  
 9 Cook Road, Branchville, New Jersey 07826  
 Phone: 973-948-8037 FAX: 973-948-8039

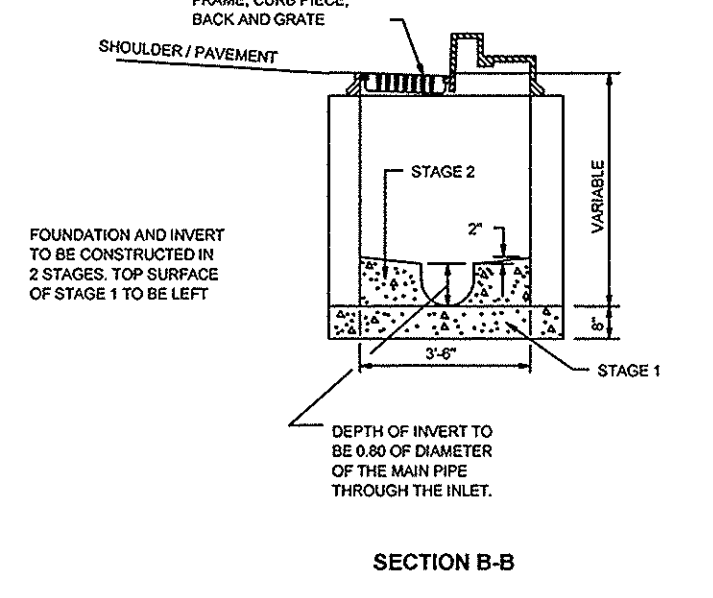
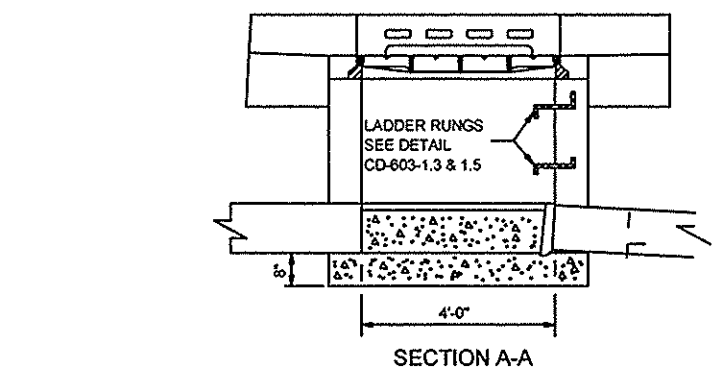
**ALLEN J. CAMPBELL, Professional Engineer**

DATE	REVISION
10-21-19	Engineers Report 10-9-19 Board meeting 10-16-19

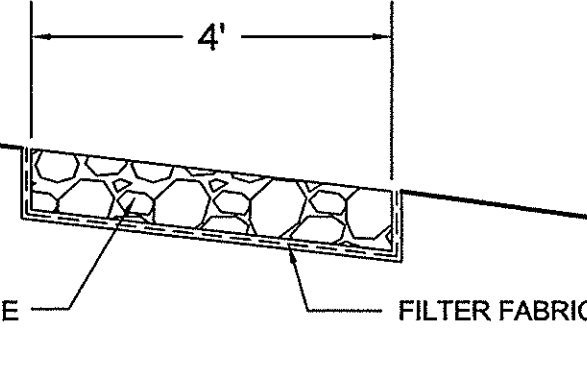
N.J.P.E. License No. 34332, N.J.P.P. 04497



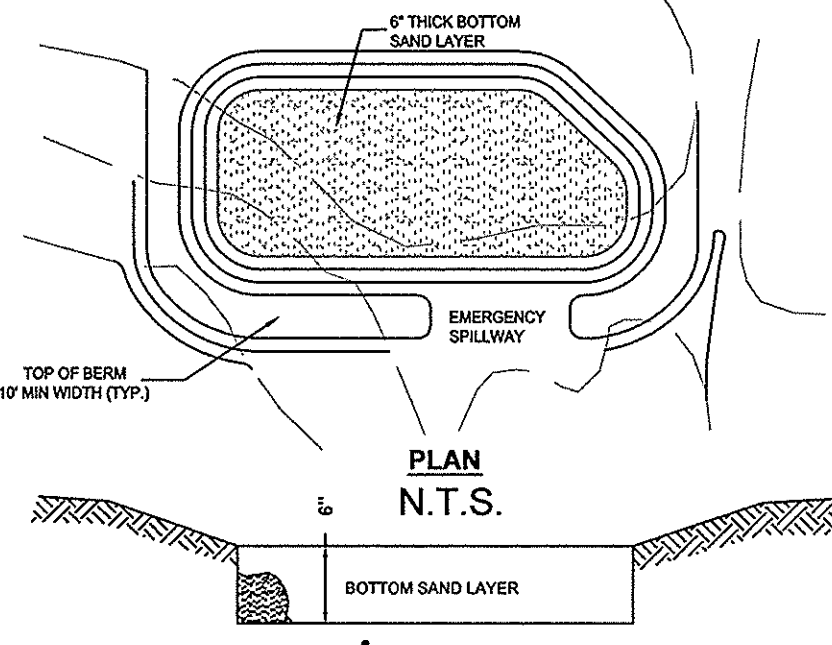
PIPE BEDDING & BACKFILL DETAIL N.T.S.



INLETS, TYPE B WITH C.I. CURB PIECE-BACK-FRAME AND GRATE CD-603-2.6

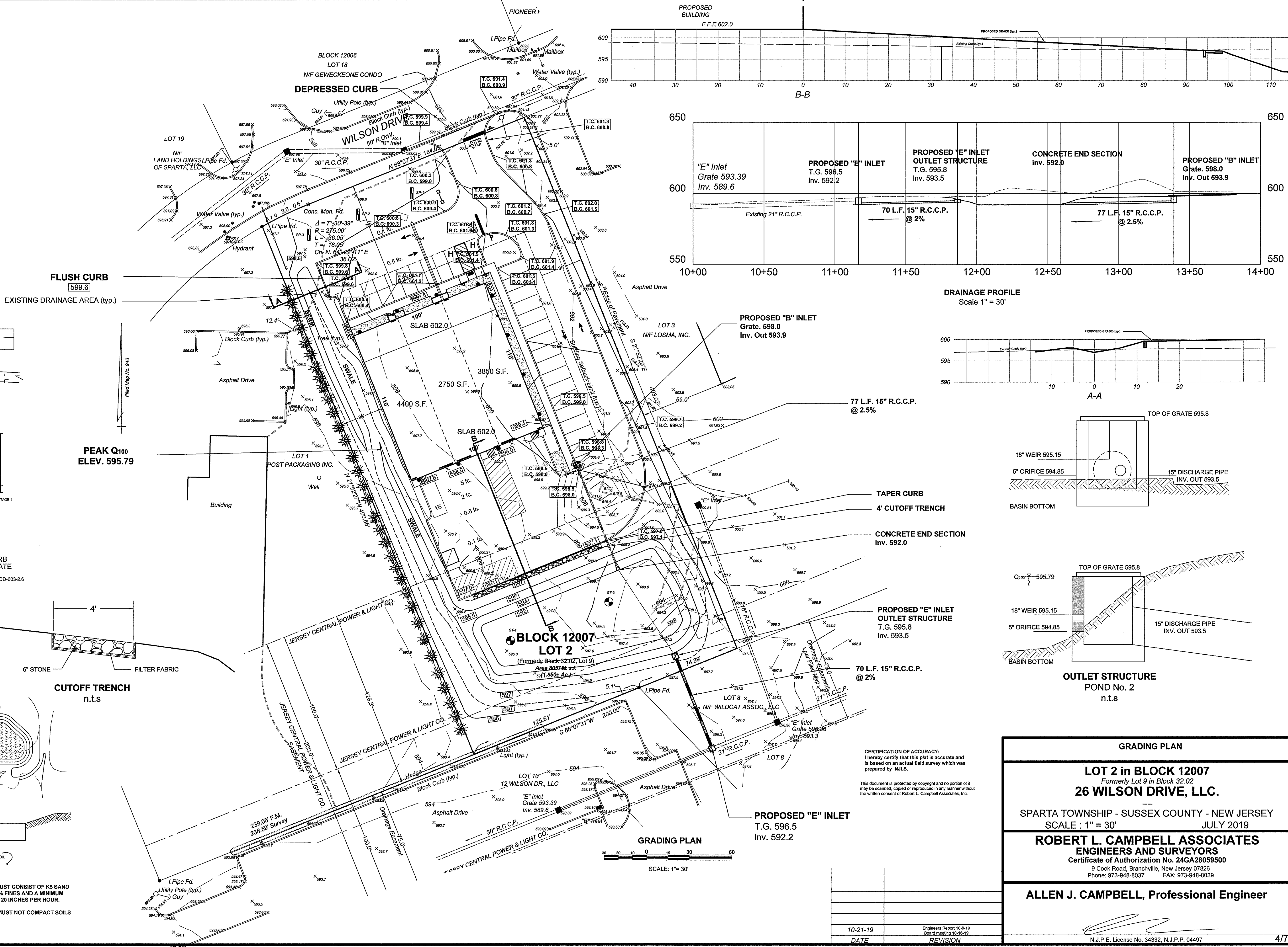


CUTOFF TRENCH n.t.s

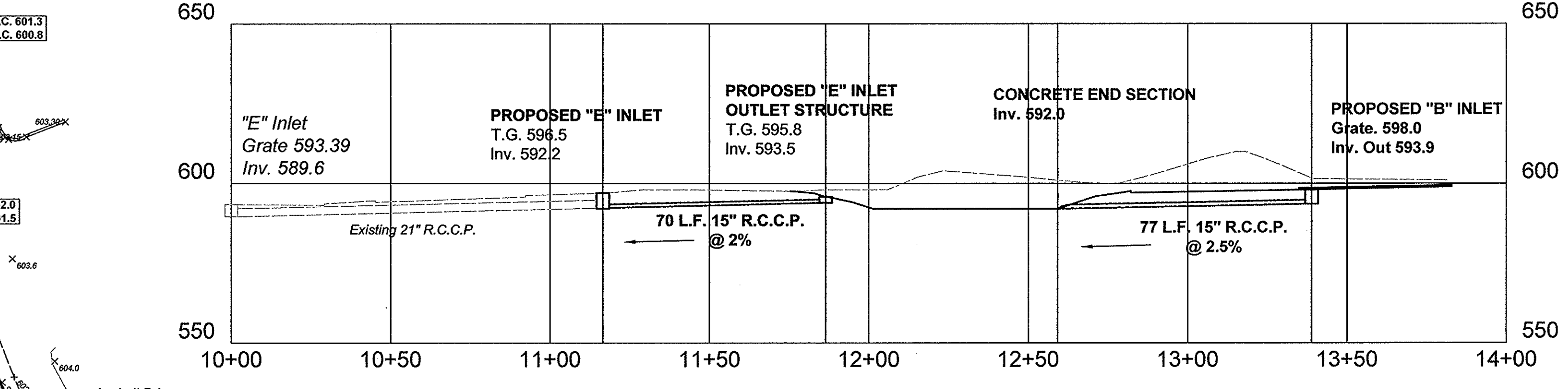
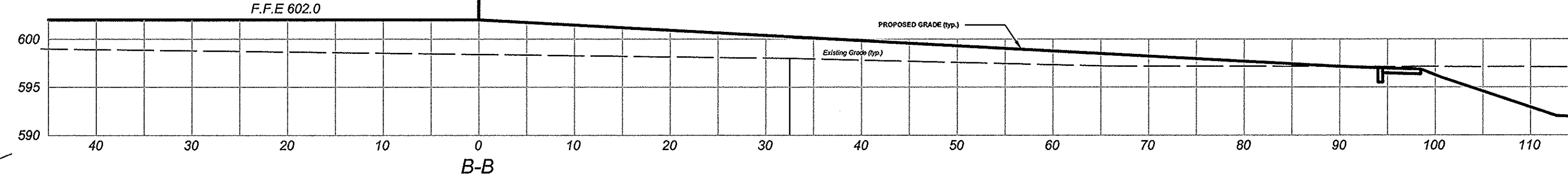


- NOTES**
1. BOTTOM SAND LAYER MUST CONSIST OF K5 SAND WITH A MAXIMUM OF 15% FINES AND A MINIMUM PERMEABILITY RATE OF 20 INCHES PER HOUR.
  2. BASIN CONSTRUCTION MUST NOT COMPACT SOILS BELOW BASIN BOTTOM.

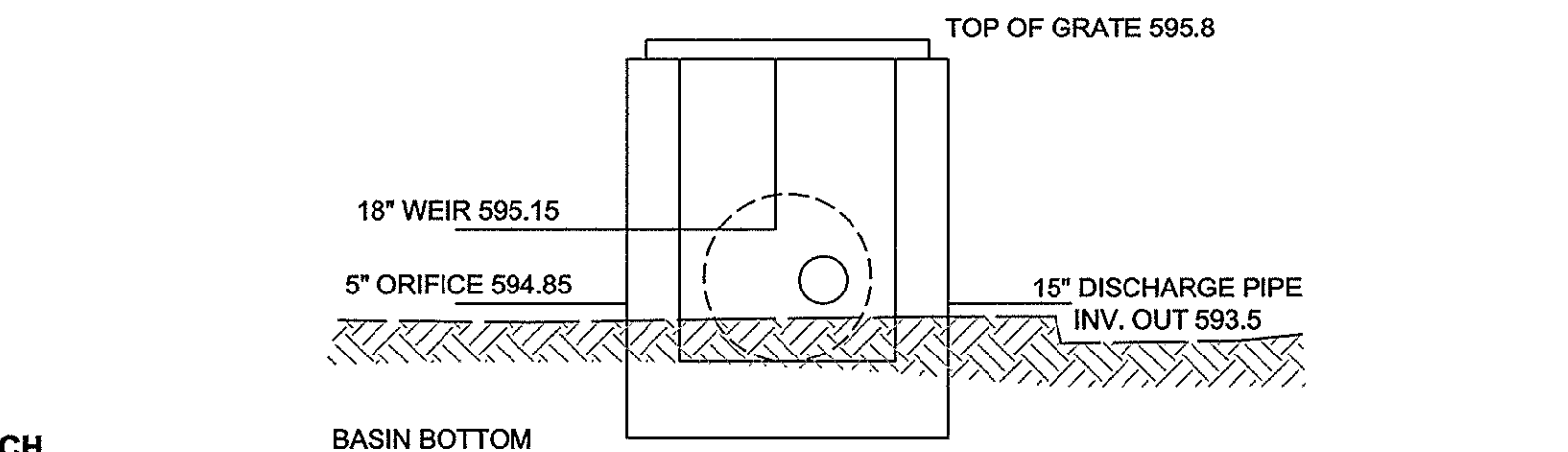
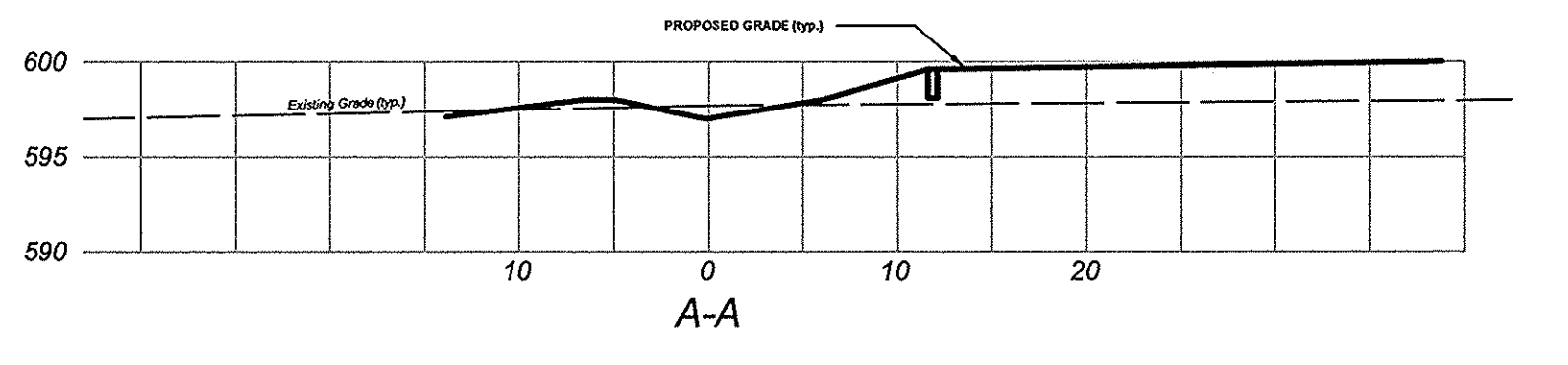
T:\Drawings\2019\SPARTA\block 12007\plans-concept-6 (10-21-19).dwg PARKS, CRD



GRADING PLAN SCALE: 1" = 30'



DRAINAGE PROFILE Scale 1" = 30'



OUTLET STRUCTURE POND No. 2 n.t.s

**CERTIFICATION OF ACCURACY:**  
I hereby certify that this plan is accurate and is based on an actual field survey which was prepared by N.J.S.

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10-21-19	Engineers Report 10-8-19
DATE	REVISION

**GRADING PLAN**

**LOT 2 in BLOCK 12007**  
Formerly Lot 9 in Block 32.02  
**26 WILSON DRIVE, LLC.**

SPARTA TOWNSHIP - SUSSEX COUNTY - NEW JERSEY  
SCALE : 1" = 30' JULY 2019

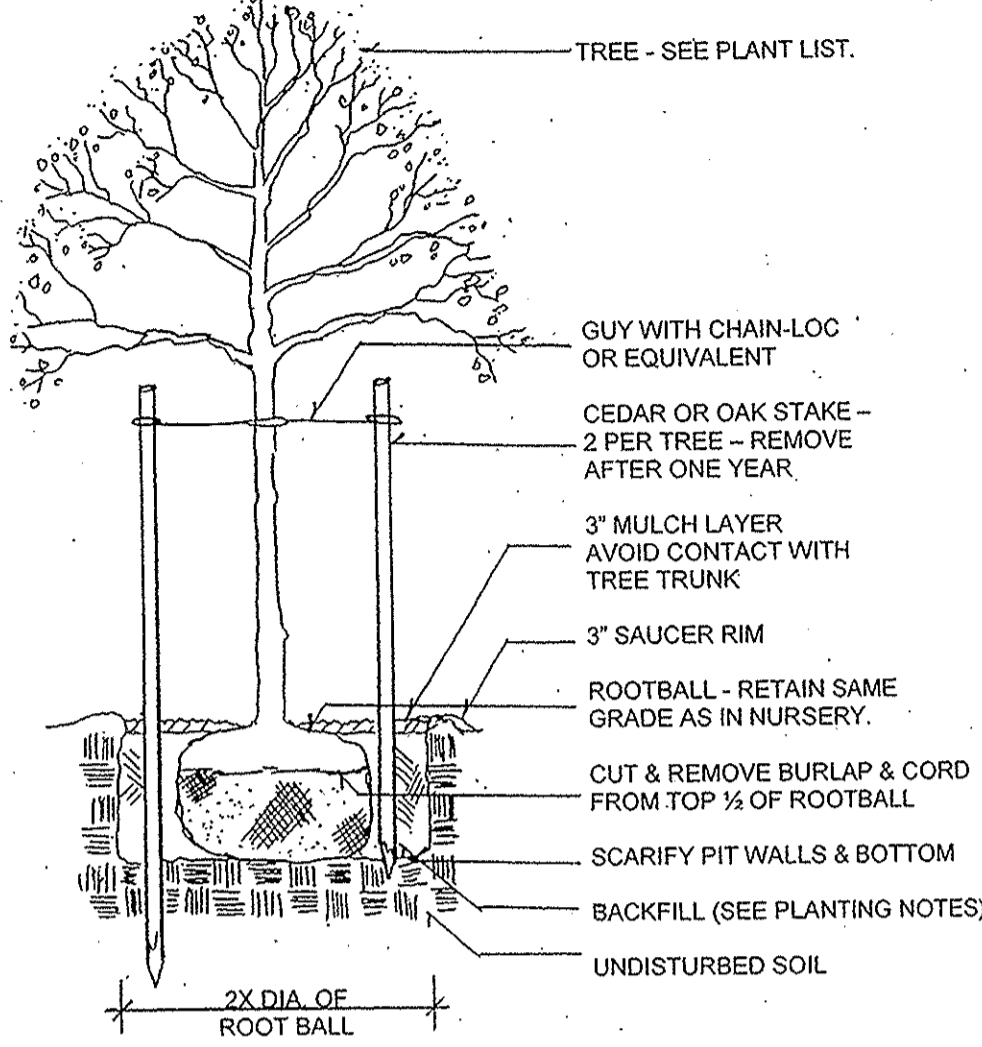
**ROBERT L. CAMPBELL ASSOCIATES**  
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9 Cook Road, Branchville, New Jersey 07826  
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**ALLEN J. CAMPBELL, Professional Engineer**

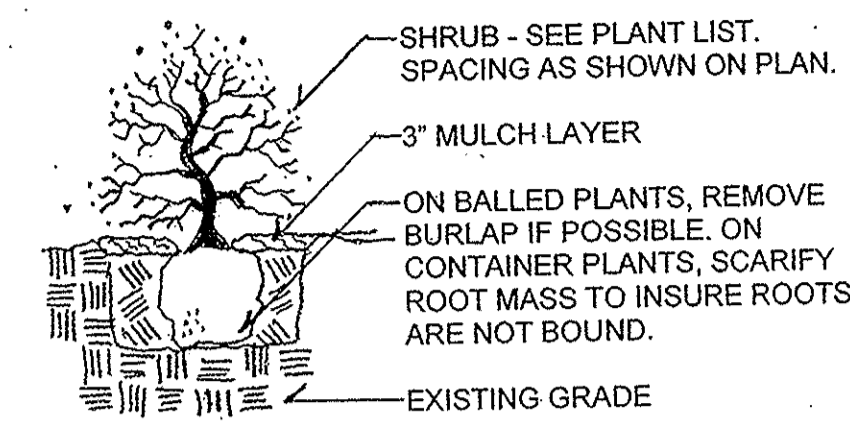
N.J.P.E. License No. 34332, N.J.P.P. 04497

TREES TO BE LOCATED AND MAINTAINED TO PREVENT OBSTRUCTING LINE OF SIGHT

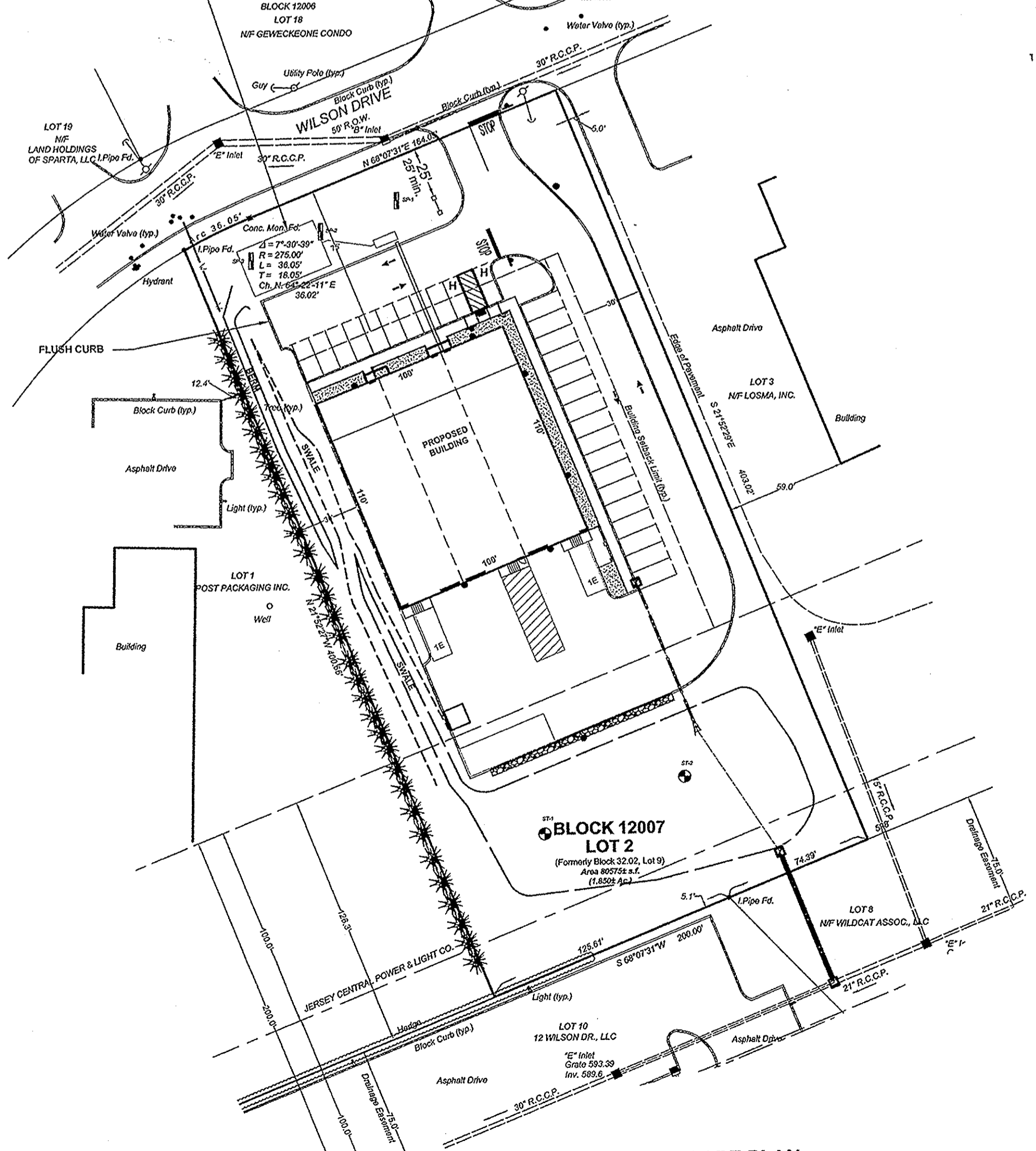
**TREE PLANTING DETAIL:** N.T.S.



**SHRUB PLANTING DETAIL:** N.T.S.



**PROPOSED SEPTIC AREA**



**LANDSCAPE PLAN**  
SCALE: 1" = 50'

**DETAIL**  
SCALE: 1" = 20'

**PLANT LIST:**

KEY	COUNT	BOTANICAL NAME	COMMON NAME	SIZE	ROOT
AR	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2 1/2" CAL / 12-14'	B&B
AS	2	ACER SACCHARINUM	SILVER MAPLE	2 1/2" CAL / 12-14'	B&B
BX	19	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	18-21"	B&B
DW	2	CORNUS KOUSA 'SUMMER STARS'	SUMMER STARS KOUSA DOGWOOD	2" CAL / 8-10'	B&B
FP	1	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2" CAL / 8-10'	B&B
JB	6	JUNIPERUS SQUAMATA 'BLUE STAR'	BLUE STAR JUNIPER	18-21"	B&B
PK	6	PRUNUS SERRULATA 'KWANZAN'	KWANZAN ORIENTAL CHERRY	2" CAL / 8-10'	B&B
SM	7	SPIREA JAPONICA 'SNOWMOUND'	SNOWMOUND SPIREA	24-30"	B&B

**PLANTING NOTES:**

- ALL PLANTS SHALL BE NURSERY GROWN AND SHALL BE TRUE TO SPECIES, VARIETY AND CULTIVAR AS SPECIFIED. SIZES OF ALL PLANTS SHALL COMPLY WITH 'AMERICAN STANDARDS FOR NURSERY STOCK' PUBLISHED BY AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- QUALITY OF ALL PLANTS SHALL BE UNQUESTIONABLE AND OUTSTANDINGLY SUPERIOR IN FORM. THEY SHALL INDICATE VIGOROUS GROWTH, BE WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF, FREE OF DISEASE, INSECT EGGS AND LARVAE, AND SHALL HAVE A DEVELOPED ROOT SYSTEM.
- CONTRACTOR TO FOLLOW CORRECT PROCEDURES TO AVOID DAMAGE DURING SHIPMENT OF PLANTS.
- PLANTS SHALL BE PROTECTED AT ALL TIMES FROM SUN AND DRYING WINDS. PLANTS THAT CANNOT BE PLANTED IMMEDIATELY UPON DELIVERY SHALL BE KEPT IN THE SHADE AND WELL WATERED BY THE CONTRACTOR. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN TWO DAYS AFTER DELIVERY.
- ALL PLANTS SHALL BE THOROUGHLY WATERED IN DURING BACKFILLING AND AFTER PLANTING/MULCHING HAS BEEN COMPLETED.
- PLANT BEDS, GROUPINGS, ETC. SHALL BE UNIFORMLY MULCHED OVER THE ENTIRE BED AREA WITH 3" THICK SHREDDED HARDWOOD MULCH, DARK COLOR. NO DYED MULCH, GROUND PALLETS, STUMPS, ETC.
- INDIVIDUAL TREES SHALL BE MULCHED AND SAUCERED AT 48" DIAMETER MINIMUM.
- BED LINES SHALL BE UNIFORMLY DEFINED WITH A GARDEN SPADE OR EDGER.
- BACKFILL MIXTURE SHALL CONSIST OF ONE PART APPROVED TOPSOIL (SEE TOPSOIL NOTES), ONE PART COMPOST AND TWO PARTS EXISTING SOIL.
- PLANT LOCATIONS SHOWN ARE APPROXIMATE AND MAYBE ADJUSTED AS FIELD CONDITIONS WARRANT AT THE TIME OF INSTALLATION, SUBJECT TO APPROVAL OF LANDSCAPE ARCHITECT.
- ANY SUBSTITUTIONS OF PLANTS TO BE APPROVED BY LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL DO PERIODIC INSPECTIONS, AT NO EXTRA COST, DURING THE WARRANTY PERIOD TO DETERMINE WHAT CHANGES, IF ANY, SHOULD BE MADE IN THE MAINTENANCE PROGRAM. ANY CHANGES SHOULD BE SUBMITTED IN WRITING TO THE OWNER.
- ALL PLANTS SHALL BE WARRANTED FOR ONE YEAR. THE WARRANTY PERIOD SHALL BEGIN AT THE DATE OF ACCEPTANCE. REPLACEMENTS SHALL CLOSELY MATCH ADJACENT SPECIMENS OF THE SAME SPECIES. REPLACEMENTS SHALL BE WARRANTED FOR ONE YEAR PERIOD FROM DATE OF ACCEPTANCE AFTER REPLACEMENT. AT END OF THE WARRANTY PERIOD, OWNER (AND/OR LANDSCAPE ARCHITECT) WILL INSPECT ALL PLANTS AT THE WRITTEN REQUEST OF THE CONTRACTOR. THE REQUEST SHALL BE RECEIVED TEN CALENDAR DAYS BEFORE ANTICIPATED DATE OF INSPECTION.

**GENERAL NOTES:**

- THE PLANTING PLAN DOES NOT CONTAIN OR IMPLY ANY PROVISIONS FOR CONTRACTORS, LABORERS OR TRANSPORTATION OR SECURITY WHICH IS THE SOLE RESPONSIBILITY OF CONTRACTORS, OWNERS, OPERATORS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION FOR PLANTINGS. CONTRACTOR TO REQUEST FIELD LOCATIONS FROM ONE-CALL LOCATION SERVICE AS PART OF THIS PROCESS.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS, INCLUDING LOCAL ORDINANCES.
- ALL WORK SHALL BE DONE BY QUALIFIED AND TRAINED PERSONS, AND SHALL HAVE A QUALIFIED FOREMAN PRESENT AT ALL TIMES TO OVERSEE AND DIRECT ALL WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PEDESTRIAN AND VEHICULAR SAFETY AND CONTROL WITHIN THE WORKSITE. HE/SHE SHALL PROVIDE THE NECESSARY WARNING DEVICES AND GROUND PERSONNEL NEEDED TO GIVE SAFETY, WARNING AND PROTECTION TO PERSONS AND VEHICULAR TRAFFIC WITHIN THE AREA.

**TOPSOIL AND SEEDING NOTES:**

TOPSOIL SHALL BE A FRIABLE LOAM CONTAINING AT LEAST 8% OF DECAYED ORGANIC MATTER. IT SHALL BE TAKEN FROM A WELL DRAINED ARABLE SITE. IT SHALL BE FREE OF SUBSOIL, ROOTS, STONES OVER 1" DIA., STICKS OR ANY OTHER OBJECTIONABLE EXTRANEOUS MATTER OF DEBRIS AND SHALL CONTAIN NO TOXIC MATERIALS. TOPSOIL SHALL NOT BE USED IN A FROZEN OR MUDDY CONDITION.

AREAS DESIGNATED TO BE TOPSOILED AND SEEDING SHALL BE TREATED AS FOLLOWS:

- ESTABLISH SUBGRADE TO A SMOOTH UNIFORM SURFACE 4" BELOW FINISHED GRADE.
- SPREAD HIGH PHOSPHOROUS GRANULAR FERTILIZER OVER THE SUBGRADE AT A RATE OF 3 POUNDS PER 1000 SQUARE FEET.
- SPREAD APPROVED TOPSOIL OVER THE ENTIRE AREA TO A UNIFORM 4" DEPTH (MINIMUM) TO THE REQUIRED FINISHED GRADE ELEVATION. RAKE TO A FINE LAWN FINISH AND REMOVE ALL STONES 1/2" DIA. OR GREATER. APPLY PULVERIZED LIMESTONE TO THE TOPSOIL AT A RATE DETERMINED BY SOIL TESTING TO MEET REQUIRED pH REQUIREMENTS.
- SPREAD HIGH NITROGEN FERTILIZER (20-10-10) OVER THE ENTIRE AREA AND RAKE INTO THE TOP 1" OF SOIL AT A RATE OF 3 POUNDS PER 1000 SQUARE FEET.
- SPREAD SEED MIXTURE UNIFORMLY OVER THE ENTIRE AREA AT A RATE OF 4 POUNDS PER 1000 SQUARE FEET. LIGHTLY RAKE SEED INTO TOP 1/4" OF SOIL.
- STRAW MULCH (UNIFORMLY BLOWN) TO A 1/2" BLANKET AND IMMEDIATELY TACKIFY.
- SEED MIXTURE SHALL BE AS FOLLOWS:  
30% APPROVED VARIETY OF KENTUCKY BLUEGRASS  
20% FINE BLADED TURF TYPE, TALL FESCUE  
30% APPROVED VARIETY OF PERENNIAL RYEGRASS  
20% CREEPING RED FESCUE
- ABOVE SPECIFICATIONS ARE INTENDED TO COMPLIMENT EROSION CONTROL PRACTICES AS PER SOIL CONSERVATION SERVICE. IN CASE OF CONFLICT, THE HIGHER STANDARD SHALL PREVAIL.

**LANDSCAPING PLAN**

**LOT 2 in BLOCK 12007**  
Formerly Lot 9 in Block 32.02  
**26 WILSON DRIVE, LLC.**

SPARTA TOWNSHIP - SUSSEX COUNTY - NEW JERSEY  
SCALE: 1" = 30' JULY 2019

**ROBERT L. CAMPBELL ASSOCIATES**  
ENGINEERS AND SURVEYORS  
Certificate of Authorization No. 24GA28059500  
9 Cook Road, Branchville, New Jersey 07826  
Phone: 973-948-8037 FAX: 973-948-8039

**ALLEN J. CAMPBELL, Professional Engineer**

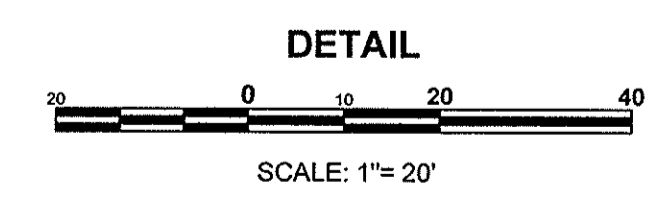
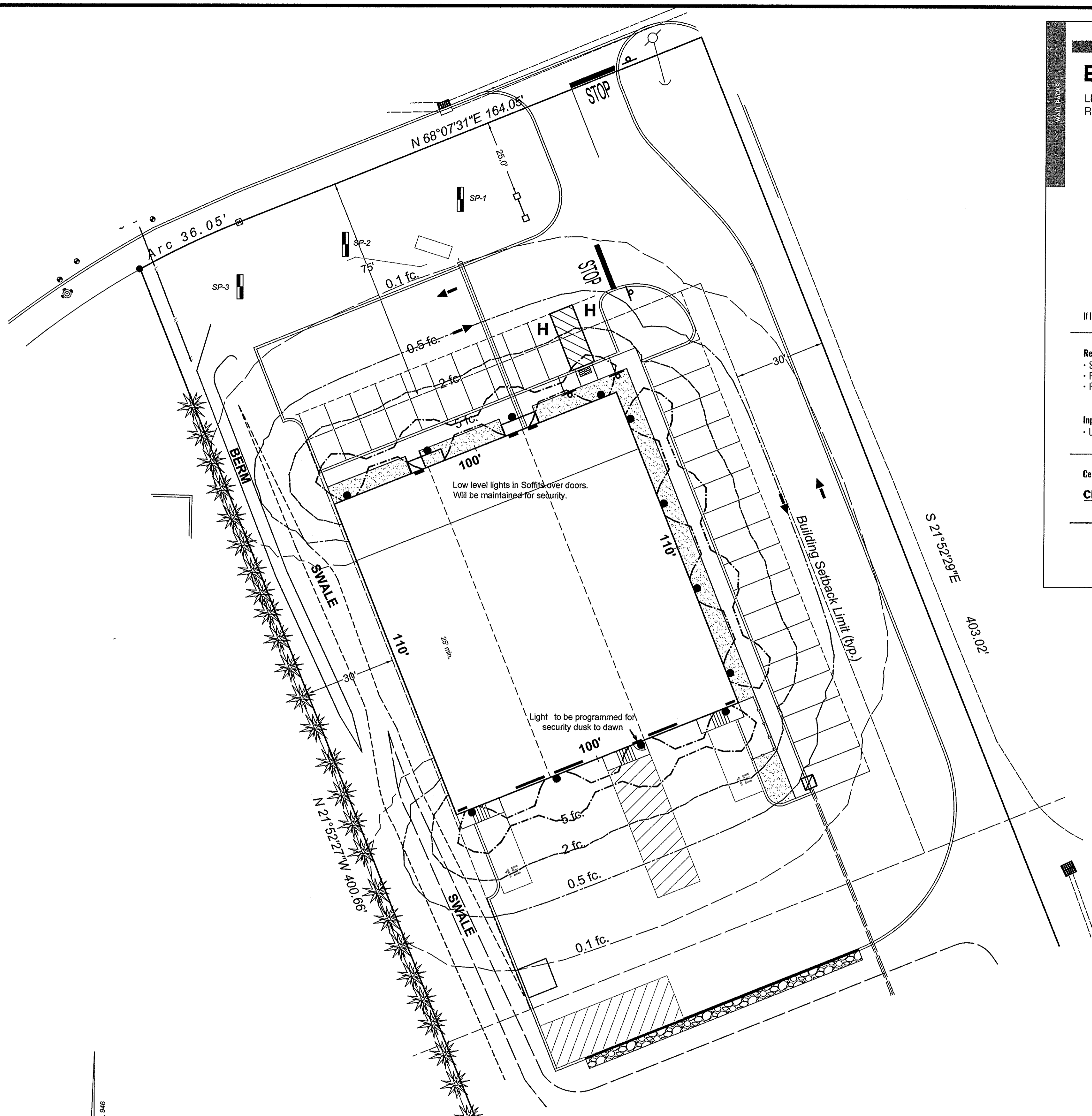
THIS SHEET FOR LANDSCAPING PURPOSES ONLY.

**DAVID H. WRIGHT LANDSCAPE ARCHITECT PLLC**  
PO BOX 100 BRANCHVILLE, NJ 07826  
973-948-2090

DAVID H. WRIGHT, LICENSED LANDSCAPE ARCHITECT  
N.J. LICENSE # 21A500031300

DATE	REVISION
10-21-19	Engineers Report 10-9-19 Board meeting 10-16-19

N.J.P.E. License No. 34332, N.J.P.P. 04497



### E-WFG Series

LED Full Cutoff Architectural Wall Pack  
Replaces up to 250W MH

**Recommended Use**

- Security
- Pathways
- Perimeter Lighting

**Versatile**

- Multiple output options in the same form factor and family style allow for a similar look that meets the needs of your whole facility.
- Complete offering in 3000K, 4000K, and 5000K

**Input Voltage**

- Universal (120V through 277V Operation)

**Certifications**

CREE LEDs 5 YEAR WARRANTY LEDS IES ETL LISTED UL LISTED

1561 98 Street, Shoreland, WI 53177 | Phone (888) 242-9445 | Fax (262) 504-5409 | www.e-conolight.com

**e-conolight**  
OUTDOOR

**Luminaire**  
IES Filename: E-WFG04A-F50UZ.ies  
Description: E-WFG04A-F50UZ Outdoor Full-Cutoff Wall-Mounted Area Luminaire

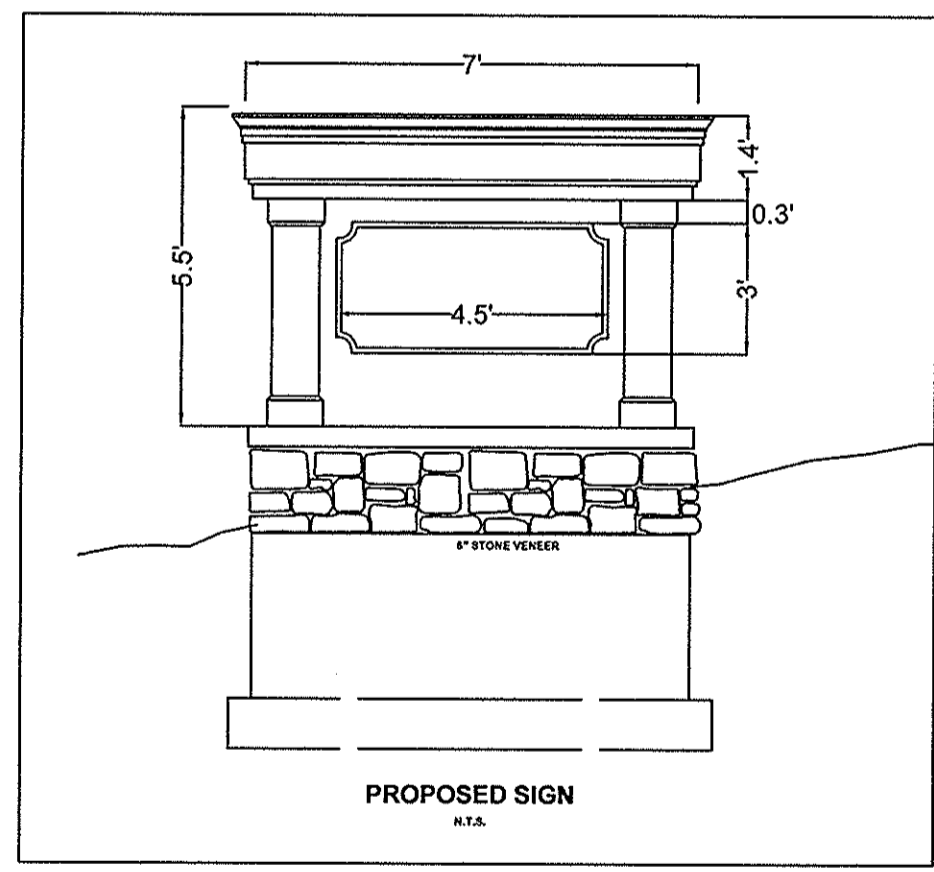
Date: \_\_\_\_\_  
Title: \_\_\_\_\_  
Desc: \_\_\_\_\_

For: Client's name or company...  
By: Your name or company...

Light Loss Factor: 1.00  
Number of Lamps: 1  
Lamp Lumens: 4898 lms  
Luminaire Watts: 34 W

**BUILDING MOUNTED LIGHT**  
12 FT. MOUNTING HEIGHT

Hours 6a.m. to 9 p.m. Security lights will be in soffits over entry doors in front, one wall unit in the rear will be programmed to stay on for security plan



**§18-5.3.8 - SIGNS IN ED & ED-1 ZONES**  
**FREESTANDING SIGN**  
48 s.f. maximum (double sided is permitted)  
25' from R.O.W.  
16' maximum height

Proposed Freestanding Sign:  
4.5' x 3' = 13.5 s.f.  
Street address "26" to be included on sign

**BUILDING MOUNTED SIGNS**  
Maximum 3% of area (max. permitted: 80 s.f.)  
2' x 25' maximum dimension

Proposed Building Mounted Signs:  
3 - 2 x 12' signs = 24 s.f. each / total 72 s.f.

**MAXIMUM SIGN AREA = 100 s.f.**  
**PROPOSED SIGN AREA = 85.5 s.f.**

Sign will have three business ID's - the # 26 and will be illuminated with ground mounted lights with side shields. facade signs will be illuminated with down-facing reverse angle lights.

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10-21-19	Engineers Report 10-9-19 Board meeting 10-16-19
DATE	REVISION

**LANDSCAPING PLAN**

**LOT 2 in BLOCK 12007**  
Formerly Lot 9 in Block 32.02  
**26 WILSON DRIVE, LLC.**

SPARTA TOWNSHIP - SUSSEX COUNTY - NEW JERSEY  
SCALE : 1" = 20' JULY 2019

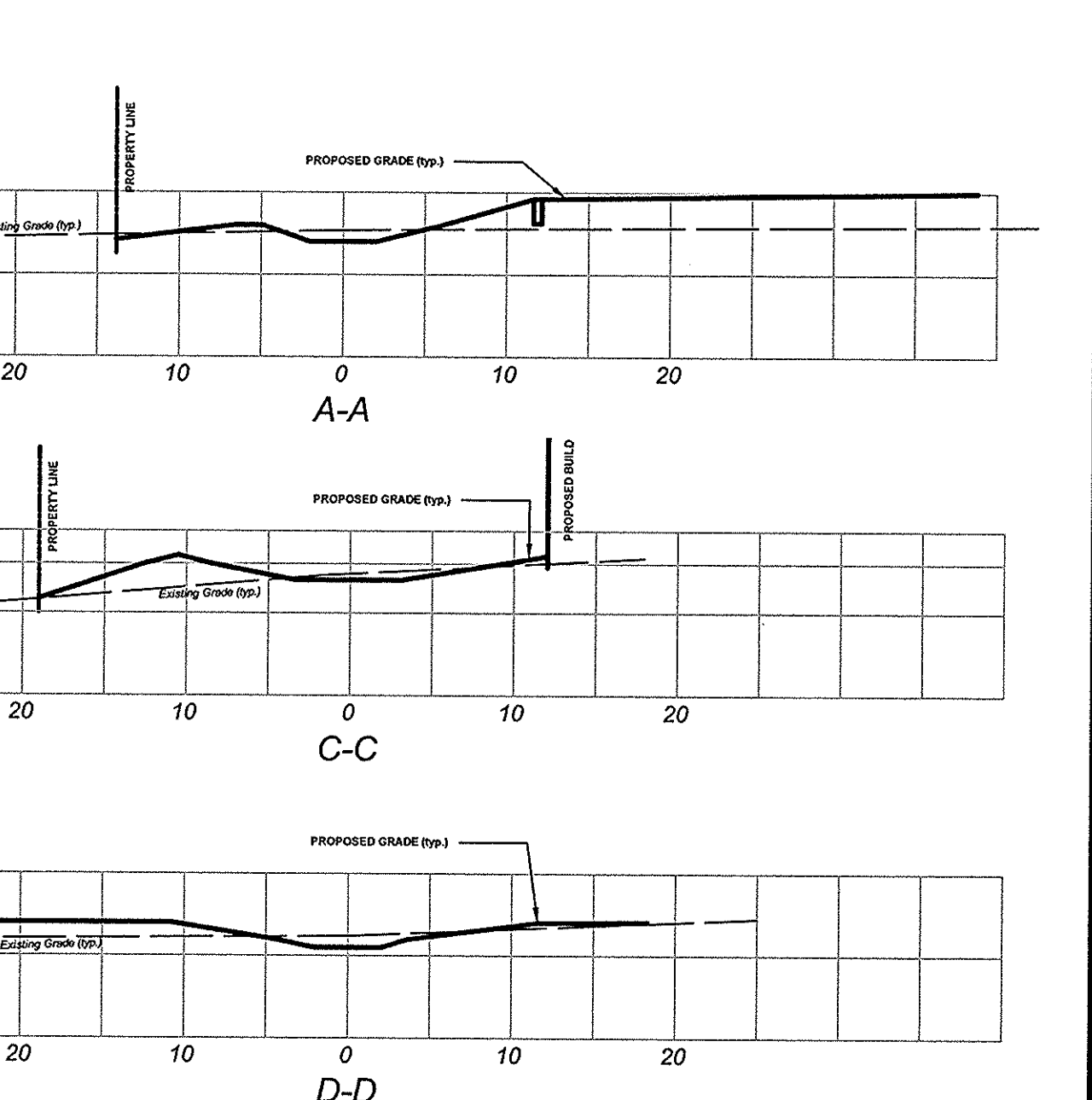
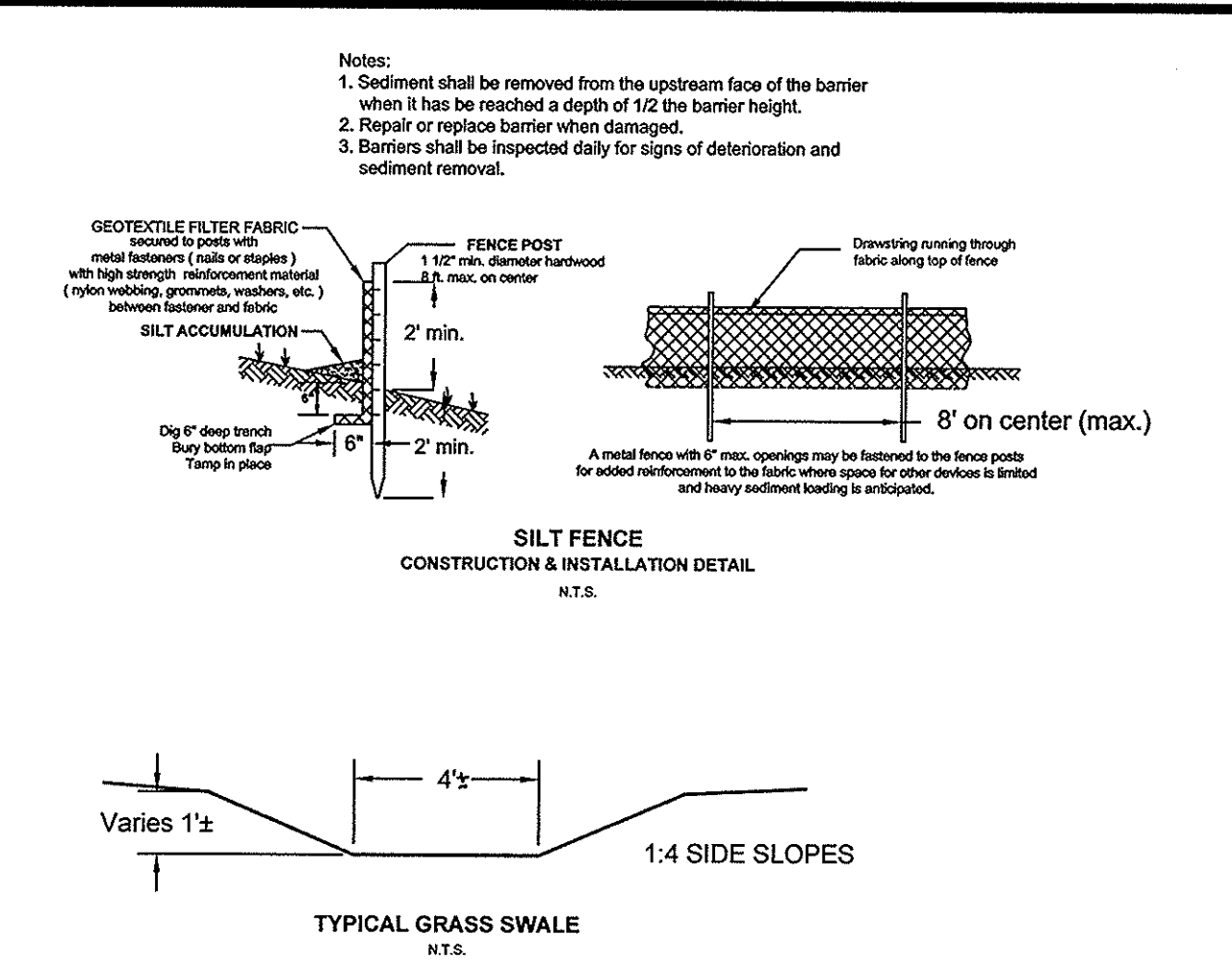
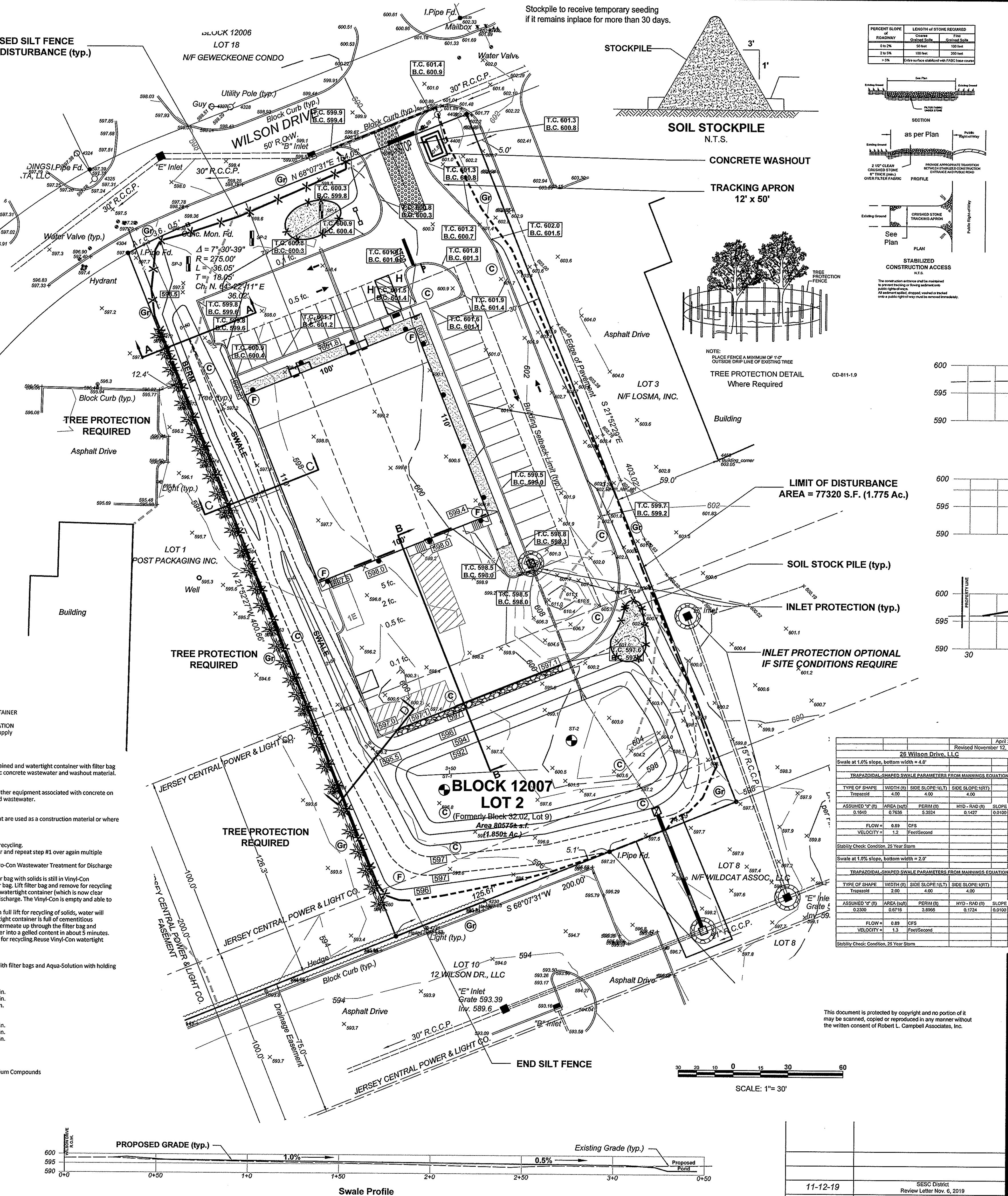
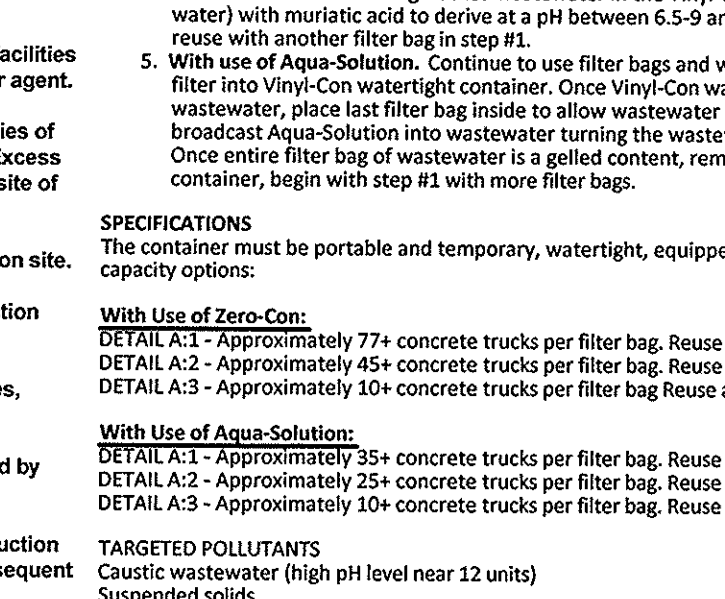
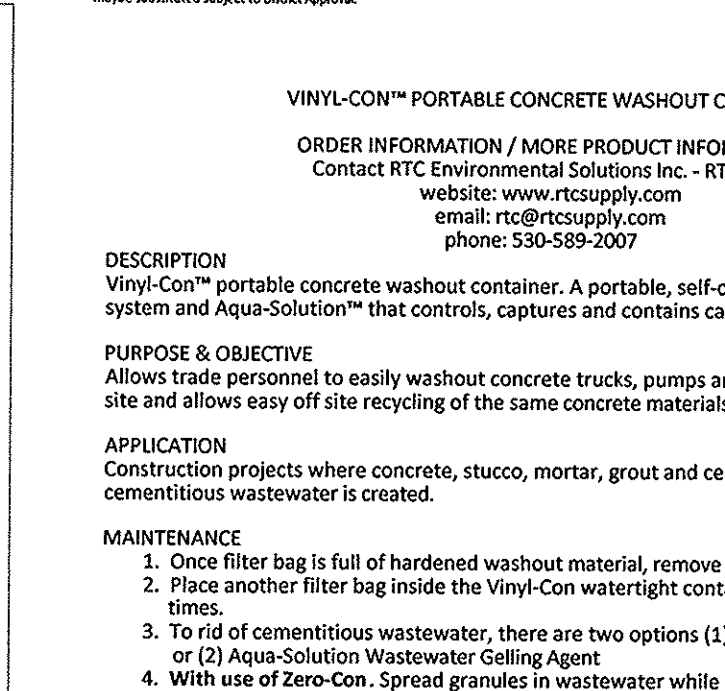
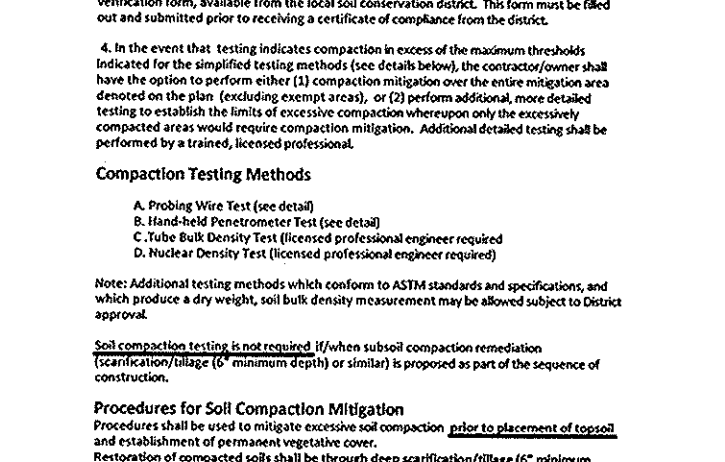
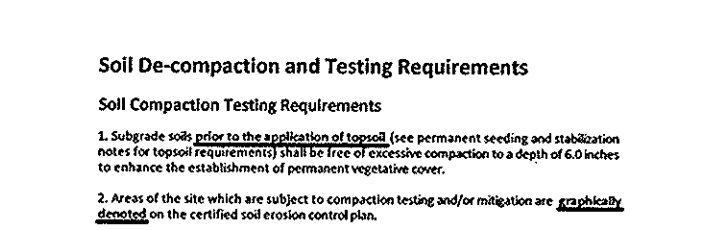
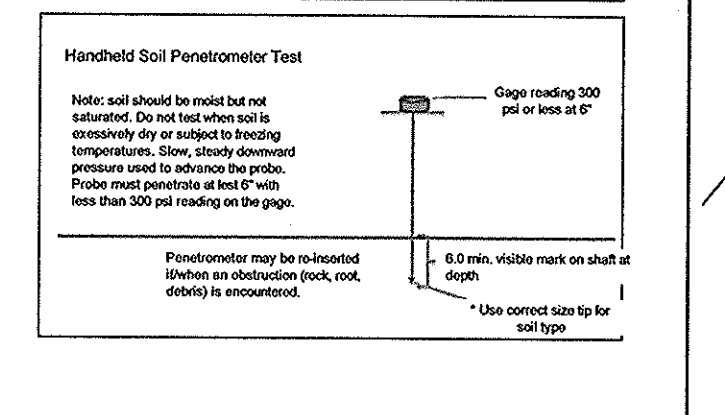
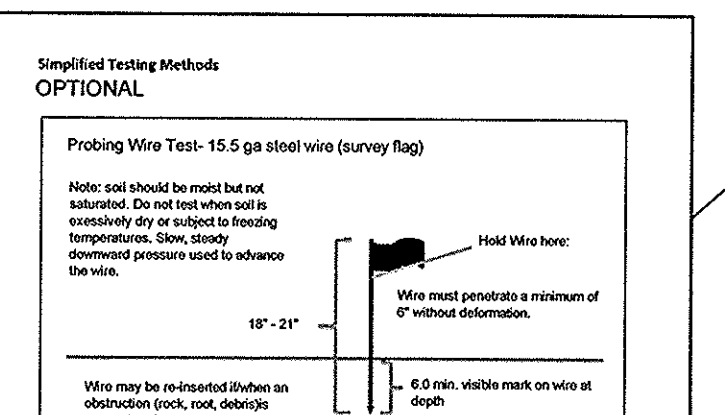
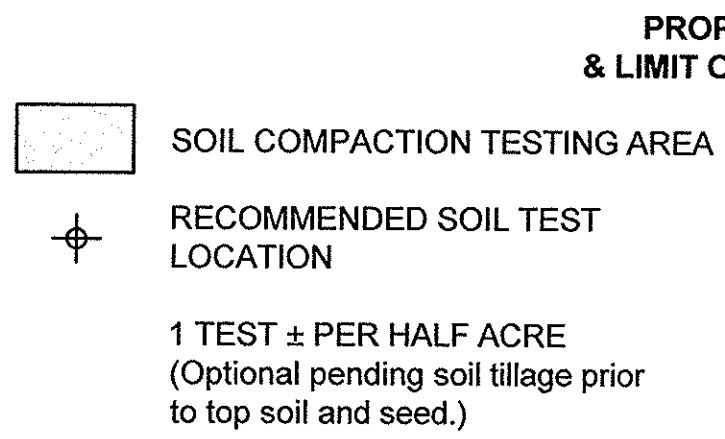
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Certificate of Authorization No. 24GA28059500  
9 Cook Road, Branchville, New Jersey 07826  
Phone: 973-948-8037 FAX: 973-948-8039

**ALLEN J. CAMPBELL, Professional Engineer**

N.J.P.E. License No. 34332, N.J.P.P. 04497

**GENERAL NOTES FOR SOIL EROSION AND SEDIMENT CONTROL**

- The District shall be represented at the preconstruction meeting with the Township Engineer, contractor and utility representatives. The Township Engineer shall schedule a preconstruction meeting. It is the responsibility of the contractor to schedule one prior to any land disturbance.
- All sediment and erosion control practices are to be installed prior to any major soil disturbance. In their proper sequence, and maintained until permanent protection is established.
- Excavated soil material shall not be placed adjacent to rivers, streams or bodies of water in a manner that will cause it to be washed away by high water runoff. Excess borrow material removed from the construction site shall be stabilized at the site of placement.
- All disturbed areas not scheduled for construction activities within 60 days of disturbance shall be temporarily stabilized, please refer to specifications regarding temporary stabilization.
- Control measures for non-growing season stabilization of exposed areas where the establishment of vegetation is anticipated as the first control measure.
- Permanent stabilization, please refer to specifications regarding permanent stabilization.
- All work to be done in accordance with "Standards for Soil Erosion and Sediment Control in New Jersey".
- A crushed stone vehicle wheel cleaning blanket will be installed wherever a construction access drive intersects a paved roadway. The blanket will be of sufficient size to reduce soil tracking of vehicles by construction traffic and will be maintained in good order until all driveway areas are stabilized. The blanket shall be composed of ASTM C-33, size No. 2 or 3, not less than 6" deep and not less than the full width of the points of ingress and egress.
- Mulching shall be done at the rate of 8 lbs / 1000 s.f. with urea coated salt hay and shall be anchored immediately after placement.
- All revisions, after District certification has been granted, shall be forwarded to the Sussex County Soil Conservation District for review. A letter of explanation shall accompany all revisions.
- The Sussex County SCD must be notified at least 48 hours in advance of any land disturbing activity.
- The contractor will obtain the District Issued Report of Compliance prior to any occupancy. The District requires at least one (1) week notice before issuance.
- All topsoil stripped and stockpiled for use in final grading shall receive temporary seeding.
- Fill material shall be free from debris, perishable or combustible material, and loose or wet earth or stone larger than specified by the engineer.
- Topsoil disposed areas = 1.77%.
- During land disturbance activities or construction, any additional control measures as deemed necessary to prevent erosion or sedimentation beyond those shown on the approved plans shall be installed as directed by the municipal engineer or Sussex County Soil Conservation District.
- The applicant is required to have a copy of the certified plan at the construction site. To the maximum extent practical, all vegetated areas not needed for construction shall be left undisturbed for as long as possible.
- Final stabilization of all land disturbances associated with underground utilities, irrespective of phasing, is the ultimate responsibility of the owner.
- Dust is to be controlled with water, calcium chloride or other method approved by the Soil Conservation District.
- Residential development control measures shall apply to dwelling construction on individual lots and notations that such control measures shall apply to subsequent owners if title is conveyed.
- For subdivision projects (roadways & drainage plans) - Soil Erosion and Sediment Control plans will be developed for each lot developed.
- Cut or fill slopes steeper than 2:1 shall be stabilized immediately after grading.
- Maintenance of permanent soil erosion and sediment control measures and facilities during and after construction shall be the responsibility of the owner or their agents.
- Any borrow materials removed from the site are only permitted to be taken to a site which maintains a soil erosion certification.



26 Wilson Drive, LLC											
Swale at 1.0% slope, bottom width = 4.0'						Swale at 0.5% slope, bottom width = 4.0'					
TYPE OF SHAPE	WIDTH (ft)	SIDE SLOPE (H:V)	SIDE SLOPE (H:V)	Drainage Area = 0.13 Ac.	Coefficient = 0.13	TYPE OF SHAPE	WIDTH (ft)	SIDE SLOPE (H:V)	SIDE SLOPE (H:V)	Drainage Area = 0.13 Ac.	Coefficient = 0.13
Trapezoid	4.00	4:00	4:00	0.000	0.000	Trapezoid	4.00	4:00	4:00	0.000	0.000
ASSUMED "n"	0.160	0.7636	3.3524	0.1427	0.0102	ASSUMED "n"	0.160	0.7636	3.3524	0.1427	0.0102
FLOW	1.89	cfs			0.89 cfs	FLOW	1.89	cfs			0.89 cfs
VELOCITY	1.2	Feet/Second			0.9	VELOCITY	1.2	Feet/Second			0.9

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

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**ALLEN J. CAMPBELL, Professional Engineer**

11-12-19	SESD District
10-21-19	Review Letter Nov. 6, 2019
	Engineer's Report 10-9-19
	Board meeting 10-16-19
DATE	REVISION

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